



*City of Charleston*

# BOARD OF ZONING APPEALS-ZONING

**June 16, 2020**

**5:15 PM**

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DEPARTMENT OF PLANNING, PRESERVATION & SUSTAINABILITY  
[www.charleston-sc.gov/bza-sd](http://www.charleston-sc.gov/bza-sd)

**\*\*Video and microphone is currently disabled for all attendees.\*\***  
**This meeting is being recorded.**

Go to [www.charleston-sc.gov/bza-z](http://www.charleston-sc.gov/bza-z) for instructions to join. Call (843) 724-3770 if you are experiencing technical difficulties.

These slides may be supplemented  
with additional slides and the order  
may change in the Board meeting

# Board of Zoning Appeals-Zoning

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## **Your Board of Zoning Appeals-Zoning Members are:**

Leonard Krawcheck – *Chair*

Allison Cannon Grass

Walter Jaudon

John Lester

Howell Morrison

Robben Richards

Michael Robinson

## **Your City of Charleston Staff are:**

Lee Batchelder, *Zoning  
Administrator*

Scott Valentine, *TRC Coordinator*

Pennye Ashby, *Senior Planner*

Vanessa Ellington, *Clerk*

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The Board of Zoning Appeals—Zoning has the authority to do three things:

1. Hear appeals to decisions of the Zoning Administrator;
2. Grant special exceptions, a fact finding function of the Board; and
3. Grant variances to the Zoning Ordinance if the application meets the hardship test outlined in Section 54-924 of the ordinance.

# Board of Zoning Appeals-Zoning

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## Requirements for Granting a Variance

A variance may be granted by the Board of Zoning Appeals in an individual case of unnecessary hardship if the Board makes the following findings:

- a. there are extraordinary and exceptional conditions pertaining to the particular piece of property;
- b. these conditions do not generally apply to other property in the vicinity;
- c. because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
- d. the authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.



# Public Comment

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## Order on Each Application:

- Chair announces each application followed by staff presentation and recommendation.
- Staff will call on applicant to present their application after being sworn in by Chair
- Staff will open the public comment period to receive comments from registered attendees in favor (first spoken, then written). Each speaker will be sworn in by the Chair.
- Staff will then recognize registered attendees for public comments in opposition after speaker is sworn in (first spoken, then written).
- Staff will recognize the applicant for a short rebuttal.
- Chair will then close the public comment period and begin Board discussion.

## Providing Comment:

- If you submitted a request to speak on an item before the deadline, staff will call your name when it is your turn to speak and enable your microphone.
- Your microphone will be disabled after you are done speaking.
- **You may only speak once for each item and you must state your name and address for the record or you will not be permitted to provide comment.**

# Board Discussion

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- Following public comment period, Board members can make comments, ask questions and make motions.
- After a motion and second, Board members will vote “Aye, in favor” or “Nay, not in favor”. If vote is not unanimous, Chair will poll each member for their vote. The Chairman shall announce the vote on the motion and the final decision on the application.
- If a Board member needs to recuse, he will be temporarily removed from the meeting and placed back in the meeting at the start of the next agenda item.
- If the Board needs to go into Executive Session, they will call into a separate conference line and all video and audio on Zoom will be temporarily turned off until they are ready to return to the regular meeting.

# Virtual Meeting Protocol

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Staff will control the slides displayed throughout the meeting.

Applicants, staff, Board members and members of the public should give their name first whenever speaking.

Applicants and members of the public must be sworn in before speaking for the first time.

Only attendees who have registered to speak before the deadline at noon today may speak during the meeting.

Video and microphone have been disabled for all attendees. Attendees will only be given the capabilities to speak when they are called on during the public comment period.

Board members who need to recuse themselves from voting will be temporarily removed from the meeting and re-admitted prior to addressing the next item.

If the Board needs to go into Executive Session, they will call into a separate conference line and all video and audio on Zoom will be temporarily turned off until they are ready to return to the regular meeting.

Chat has been disabled for everyone.

This meeting is being recorded.

# Agenda Item #B-1

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304 GROVE STREET  
(WAGENER TERRACE)  
(463-10-03-005)

Request variance from Sec. 54-301 to allow a 1-story addition (walk-in closet/great room) with a 6.8-ft. rear setback (25-ft. required).

Zoned SR-2





City of Charleston

**Instructions** – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

**THE APPLICANT HEREBY REQUESTS:**

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.  
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).  
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: 4-7-20

Property Address 304 GROVE ST. TMS # 463-10-03-005

Property Owner MR. FRED SOMMONS Daytime Phone 843-224-4959

Applicant JOEL ADRIAN - STUDIO 291, LLC Daytime Phone 843-819-8947

Applicant's Mailing Address 295 SEVEN FARMS DR., SUITE C-174

DANIEL ISLAND, SC 29462 E-mail Address STUDIO291@HOMESC.COM

Relationship of applicant to owner (same, representative, prospective buyer, other) REP.

Zoning of property SR-2

**Information required with application: (check information submitted)**

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)  
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans  
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)  
☐ Plans or documents necessary to show compliance with special exception requirements (3 sets)  
☒ Check, credit card or cash (make checks payable to the City of Charleston)  
☐ YES or ☒ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

**Optional but very helpful information:**

- ☐ Photographs  
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant [Signature] Date 2-18-20

For office use only

Date application received \_\_\_\_\_

Staffperson \_\_\_\_\_

Fee \$ \_\_\_\_\_

Time application received \_\_\_\_\_

Receipt # \_\_\_\_\_

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

1. DUE TO THE GRAND TREE THE HOME WAS LOCATED FURTHER BACK ON THE LOT. THE HOME IS ONLY 1,200<sup>sq</sup>, SO NOT LARGE ENOUGH CLIENTS JUST NEED A LITTLE MORE ROOM.
2. NO THE SIZE & LOCATION OF THE TREE FORCED THIS HOME BACK.
3. YES THE TREE ALSO COVERS THE MAJORITY OF THE RIGHT SIDE OF THE LOT
4. NO - 95% OF THE ADDITION IS BEHIND THE EXISTING HOME.

**Variance Test:** The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

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All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.



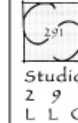






# SINGLE FAMILY RESIDENCE

ADDITIONS AND RENOVATIONS TO  
304 GROVE ST., CHARLESTON, SOUTH CAROLINA  
TMS # 463-10-03-005



Studio  
291  
LLC

1800 Broadway, Suite 200, Charleston, SC 29403  
Phone: 843.723.1111  
Email: info@studio291.com

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## DRAWING INDEX

- T1 - TITLE SHEET
- C1 - SITE PLAN
- A1 - EXISTING & DEMOLITION FLOOR PLANS
- A2 - PROPOSED FLOOR PLAN & ELECTRICAL
- A3 - EXISTING ELEVATIONS
- A4 - PROPOSED ELEVATIONS
- A5 - TYPICAL WALL SECTION & DETAILS

## ABBREVIATIONS

A.C.: ABOVE COUNTER	CONC.: CONCRETE
TYP.: TYPICAL	ARCH.: ARCHITECTURAL
A.F.F.: ABOVE FINISH FLOOR	DTL.: DETAIL
ELEV.: ELEVATION	C.J.: CEILING JOIST
F.P.: FROST PROOF	R.R.: ROOF RAFTER
H.W.H.: HOT WATER HEATER	DBL.: DOUBLE
W.W.F.: WELDED WIRE FABRIC	G.W.B.: DRYWALL
R.: RISERS	G.Y.P.: DRYWALL
P.T.: PRESSURE TREATED	B.F.E.: BASE FLOOD ELEVATION
REF.: REFRIGERATOR	WP : WATERPROOF
D/W: DISHWASHER	CONT.: CONTINUOUS
M/W: MICROWAVE	
D.S.: DOWNSPOUT	
PREFIN.: PREFINISHED	
ALUMN.: ALUMINUM	

## GENERAL NOTES:

DRAWINGS SHALL BE CONSIDERED DIAGRAMMATIC AND THEREFORE NEVER BE SCALED. WRITTEN OR NOTED DIMENSIONS SHALL BE FOLLOWED TO INDUSTRY STANDARDS. WHERE DIMENSIONS ARE NOT FOUND OR ARE UNCLEAR, CONTRACTOR SHALL CONTACT DESIGNER FOR CLARIFICATION.

CONTRACTOR SHALL CHECK DRAWINGS AND SPECIFICATIONS AND NOTIFY DESIGNER OF OMISSIONS OR DISCREPANCIES PRIOR TO THE START OF ANY WORK.

CONTRACTOR SHALL INSURE ALL WORK COMPLIES WITH APPLICABLE CODES, REGULATIONS, AND LAWS.

CONTRACTOR SHALL TAKE ANY MEASURE NECESSARY TO PROTECT ADJACENT PROPERTIES AND STRUCTURES ON PROJECT PROPERTY NOT SPECIFICALLY STATED TO BE MOVED OR REMOVED. CONTRACTOR SHALL REPAIR ANY DAMAGE RESULTING FROM CONSTRUCTION, AT NO CHARGE TO HOME OWNER OR DESIGNER.

CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED FOR COMPLETED PROJECT, INCLUDING BUT NOT LIMITED TO CONNECTIONS TO PUBLIC UTILITIES, WELLS, SEPTIC SYSTEMS WHERE APPLICABLE.

IF CONTRADICTIONS ARE FOUND BETWEEN SPECIFICATIONS AND DRAWINGS AFTER THE START OF WORK, EITHER APPLICATION MAY BE SUBMITTED BY THE DESIGNER AT NO ADDITIONAL CHARGE TO THE HOME OWNER OR DESIGNER.

CLARIFICATION DETAILS REQUESTED BY CONTRACTOR AFTER START OF WORK SHALL BE COMPLIED WITH AS PART OF BASE BID.

REQUESTS FOR SUBSTITUTIONS OF METHODS OR MATERIALS SHALL BE SUBMITTED TO DESIGNER IN WRITING PRIOR TO THE START OF RELATED WORK. WHERE COST DIFFERENCES OCCUR, QUOTES OR ESTIMATES SHALL BE SUBMITTED.

ALL CHANGE ORDER REQUESTS SHALL BE APPROVED IN ADVANCE AND BE ACCOMPANIED BY QUOTES OR ESTIMATES.

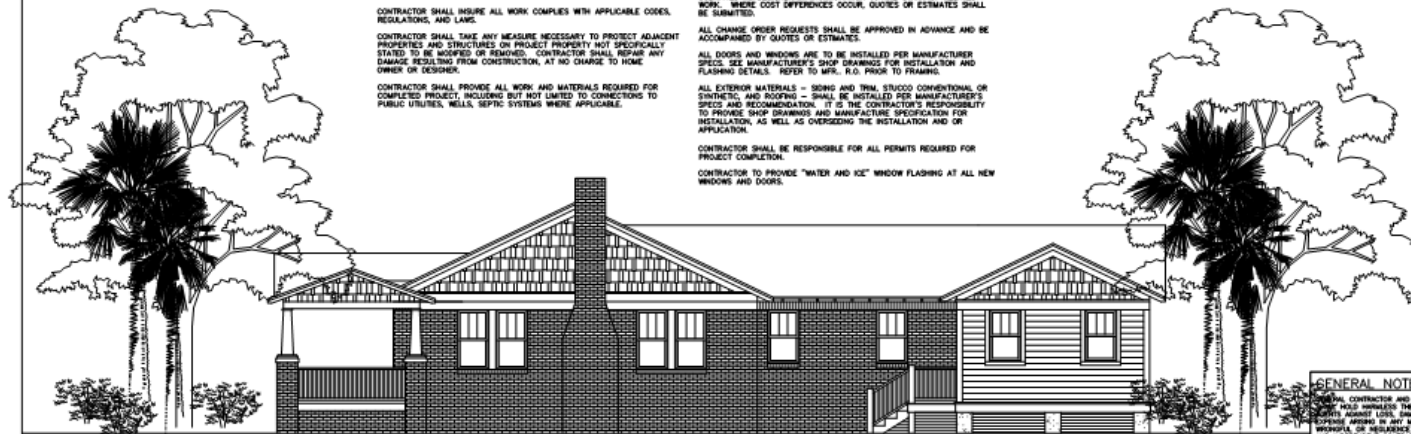
ALL DOORS AND WINDOWS ARE TO BE INSTALLED PER MANUFACTURER SPEC. SEE MANUFACTURER'S SHOP DRAWINGS FOR INSTALLATION AND FLASHING DETAILS. REFER TO M.P.C. R.O. PRIOR TO FRAMING.

ALL EXTERIOR MATERIALS - SIDING AND TRIM, STUCCO CONVENTIONAL OR SYNTHETIC, AND ROOFING - SHALL BE INSTALLED PER MANUFACTURER'S SPEC AND RECOMMENDATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE SHOP DRAWINGS AND MANUFACTURE SPECIFICATION FOR INSTALLATION, AS WELL AS OVERSEEING THE INSTALLATION AND OR APPLICATION.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS REQUIRED FOR PROJECT COMPLETION.

CONTRACTOR TO PROVIDE "WATER AND ICE" WINDOW FLASHING AT ALL NEW WINDOWS AND DOORS.

Rectangular Snip



## GENERAL NOTE:

OWNER, CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE DESIGNER AND HIS EMPLOYEES SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO OR LOSS OF ANY PROPERTY OR PERSONAL INJURY OR DEATH, OR ANY OTHER LIABILITY, ARISING FROM ANY NEGLIGENCE OR MISFEASANCE OF THE CONTRACTOR AND SUB-CONTRACTORS AND THEIR RESPECTIVE EMPLOYEES.

Project:  
Addition & Renovation @  
304 Grove St., Charleston, South Carolina

Sheet No.  
TITLE SHEET

D. P. N. Design

Job Number

Drawn By

Scale Used

Notes for Field

Notes for Print

Revisions

Revised By

Revised Date

Revised Description

Revised By

Revised Date

Revised Description

Revised By

Revised Date

Revised Description

Revised By

Revised Date

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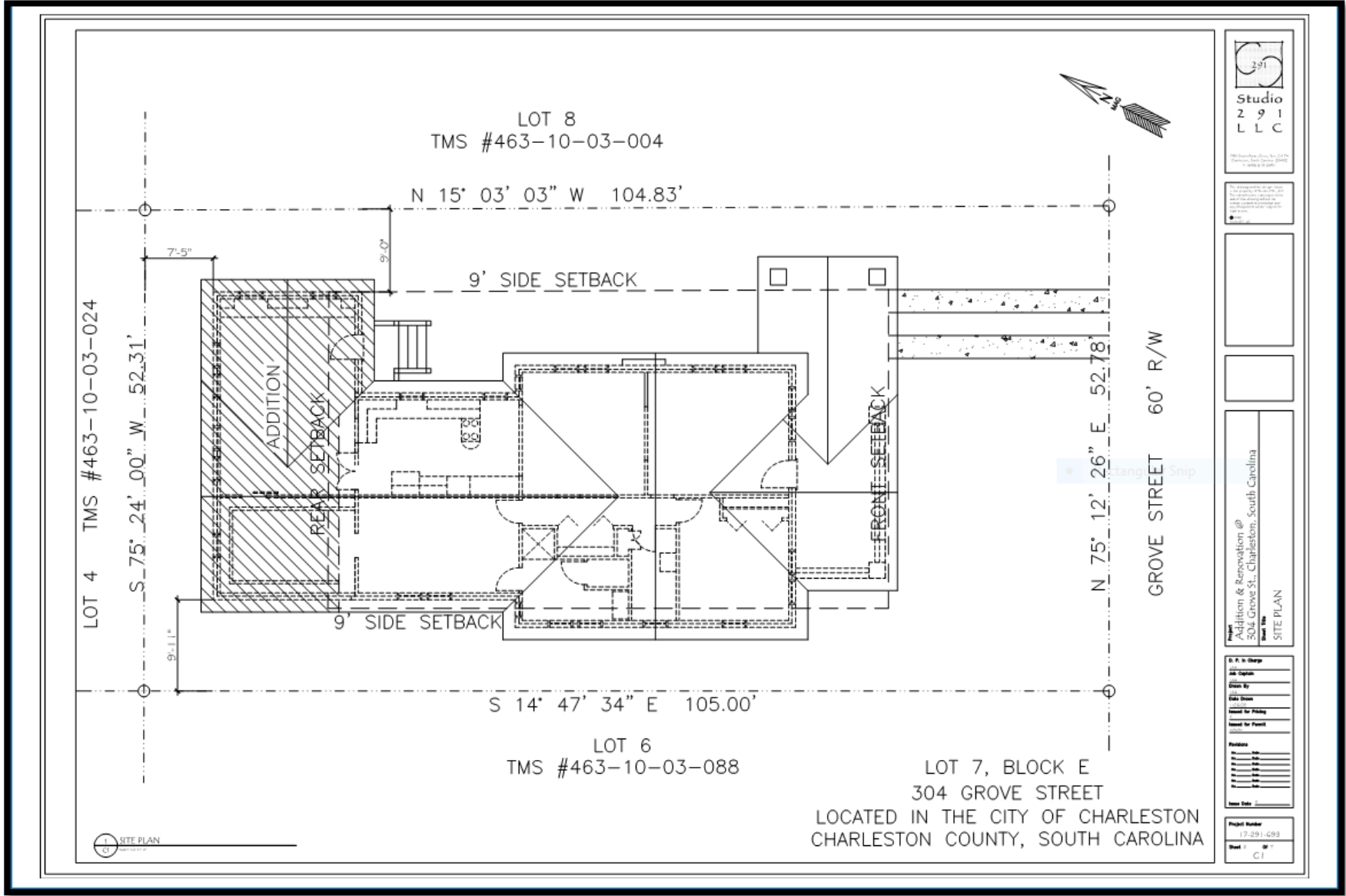
Revised Date

Revised Description

Revised By

Revised Date

Revised Description



4. G.C. SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL NATIONAL, STATE & LOCAL CODES.

5. DEVELOPER SHALL MEET THE PHYSICAL REMOVAL AND DISPOSAL OF ALL PARTS AND MATERIALS CALLED OUT TO BE REMOVED OR DEMOLISHED.



6. G.C. SHALL PATCH AND REPAIR AT THEIR EXPENSE ANY AREAS OF THE EXISTING HOME THAT ARE DAMAGED DURING ANY PHASE OF THE CONSTRUCTION.

7. G.C. SHALL SHORE UP EXISTING FLOORS / CEILING ROOFINGS ETC. AND ENSURE THE STRUCTURAL INTEGRITY OF THE HOME DURING ALL PHASES OF THE CONSTRUCTION.

8. G.C. SHALL REMOVE ALL SCHED. FROM WALLS THAT WILL BECOME INTERIOR AND PROVIDE IF ORNAMENT PROVIDED AND FINISHED.

9. G.C. SHALL VERIFY WITH OWNER IF ANY ITEMS CALLED OUT FOR REMOVAL WILL BE DONATED



	NEW WINDOW 3'-0" WIDE x 5'-2" TALL
	NEW DOOR 3'-4" WIDE x 6'-0" TALL
	NEW JOH STUD WALL
	OBJECT TO BE REMOVED
	EXISTING WALL TO REMAIN



7865 Transverse Drive, San Jose,  
California, North America 95128  
E-mail: [scott@cs.cmu.edu](mailto:scott@cs.cmu.edu)

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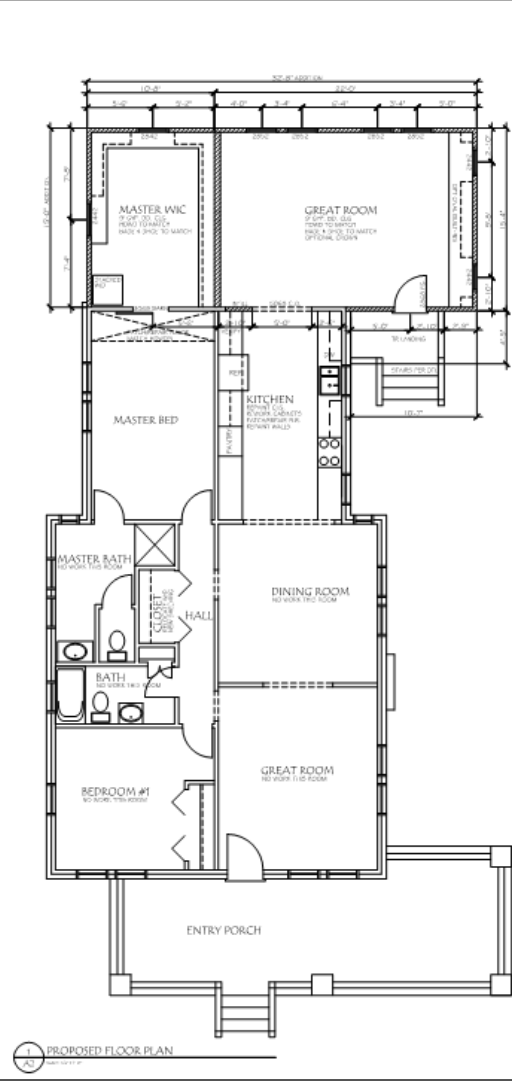
POSTING DATE 12/07/07

Project: Addition & Renovation @  
504 Grove St., Charleston, South Carolina

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Project Number  
17-291-693

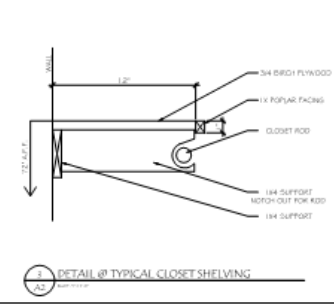
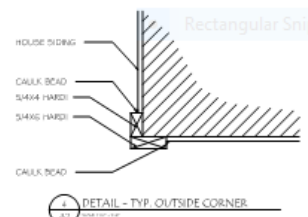
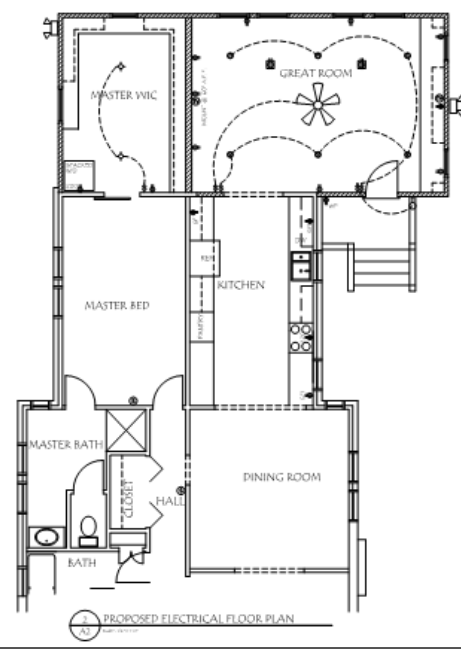
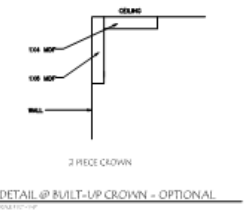
Sheet 2 of 7  
AI



**FLOOR PLAN GENERAL NOTES**

1. ALL WALLS SHALL BE CONCRETE WITH ALL WINDOWS, DOORS & LUMINAIRES SEE SPEC.
2. HALLS SHALL BE FINISHED WITH CARPETING AND CORNER FOR NEW LIGHT FOR EXISTING ROOMS. THERE IS NO NEW LIGHT SYSTEM W/ EXISTING ROOMS. LIGHTS SHALL BE LOCATED IN FIELD.
3. ELECTRICAL SHALL PROVIDE PANELS FOR NEW AND EXISTING AVAILABLE SPACE SHALL ACCORDING TO THE FOLLOWING:
4. G.C. SHALL PROVIDE STRUCTURAL WORK FOR NEW AND EXISTING WALLS OF EXISTING ROOMS. LOCATE PANELS IN LIVING ROOM & PROVIDE POWER IN BED.
5. ALL WINDOWS ARE SHOWN AS 60"-HIGH DOUBLE HUNG UNITS WITH WHITE WALL, INTERIOR & EXTERIOR.
6. ALL WINDOWS SHALL MEET THE SP-100 DESIGN REQUIREMENT PROVIDE HURRICANE PROTECTION FOR ALL WINDOWS (SHALL HAVE EXTERIOR).
7. INTERIOR-DOOR SWING SHALL BE FROM THE EXTERIOR. PROVIDE PLASTER WALLS AND CEILING OF PLASTER IN THE ROOMS. EXISTING FLOOR SHALL BE REMOVED AND NEW FLOOR SHALL BE LAYED ON A MAINTAIN FINE SHALL BE SHOWN WILLING LAY FLOOR FINISH.
8. ALL WINDOWS AND DOOR TRIM SHALL MATCH EXISTING.
9. ALL INTERIOR DOORS SHALL BE 2'-0" x 6'-0" WITH 1 1/2" THICK DOORS. ALL DOORS SHALL BE 2'-0" x 6'-0" WITH 1 1/2" THICK DOORS. ALL DOORS SHALL BE 2'-0" x 6'-0" WITH 1 1/2" THICK DOORS.

10. ALL INTERIOR DOORS SHALL BE 1 1/2" THICK AND FINISHED WITH 1 1/2" THICK OF EXISTING DOOR. ALL DOORS SHALL BE 2'-0" x 6'-0" WITH 1 1/2" THICK DOORS. ALL DOORS SHALL BE 2'-0" x 6'-0" WITH 1 1/2" THICK DOORS.
11. ALL INTERIOR DOORS ARE SHOWN AS 60"-HIGH DOUBLE HUNG UNITS WITH WHITE WALL, INTERIOR & EXTERIOR.
12. INTERIOR DOOR SWING SHALL BE FROM THE EXTERIOR. PROVIDE PLASTER WALLS AND CEILING OF PLASTER IN THE ROOMS. EXISTING FLOOR SHALL BE REMOVED AND NEW FLOOR SHALL BE LAYED ON A MAINTAIN FINE SHALL BE SHOWN WILLING LAY FLOOR FINISH.
13. ALL INTERIOR DOORS SHALL BE 2'-0" x 6'-0" WITH 1 1/2" THICK DOORS. ALL DOORS SHALL BE 2'-0" x 6'-0" WITH 1 1/2" THICK DOORS. ALL DOORS SHALL BE 2'-0" x 6'-0" WITH 1 1/2" THICK DOORS.
14. PROVIDE "WATER & ICE" ON FLOOR-TO-CEILING WATERPROOFING AROUND ALL WINDOW OPENINGS - SET ALL EXIST. DOORS IN DOOR FRAME.
15. ALL EXIST. PLASTER SHALL BE USED AS MOULD ON THE PLASTER INCLUDING ABOVE ALL INTERIOR DOORS. SHOWN IN EX.
16. WATERPROOF ALL EXIST. WALLS & SLAB FLOOR TO EXIST. PROVIDE AND MATCH EXISTING SHOWN IN EX.
17. ALL INTERIOR TRIM PROFILES TO MATCH EXISTING. MAY USE NEW MATERIALS AS SHOWN AND LIST UPON PRICE TO PURCHASE.



180 Boulevard Drive, Suite 200  
Charleston, South Carolina 29405  
P: 843.741.1111  
F: 843.741.1112

EXISTING HOUSE: 1,307 SQFT  
ADDITION: 677 SQFT  
TOTAL HEATED: 1,984 SQFT

Addition & Renovation @  
504 Grove St., Charleston, South Carolina

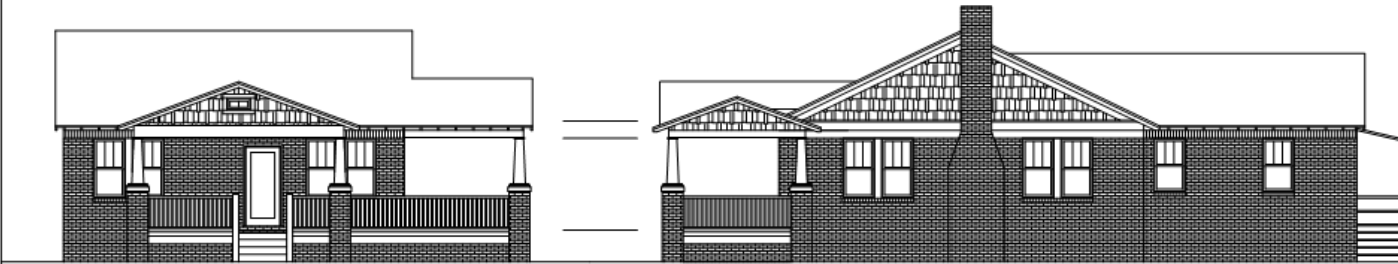
PROPOSED FLOOR PLAN & ELECTRICAL

D. R. In Charge

17-291-693

Sheet: A2





2 EXISTING FRONTELEVATION  
DATE: 06-11-17

3 EXISTING RIGHT SIDE ELEVATION  
DATE: 06-11-17

• Rectangular Snip



1 EXISTING REAR ELEVATION  
DATE: 06-11-17

4 EXISTING LEFT SIDE ELEVATION  
DATE: 06-11-17

291  
Studio  
291  
LLC

1000 Broadway Street, Suite 200  
Charleston, South Carolina 29403  
Tel: 843.528.1000

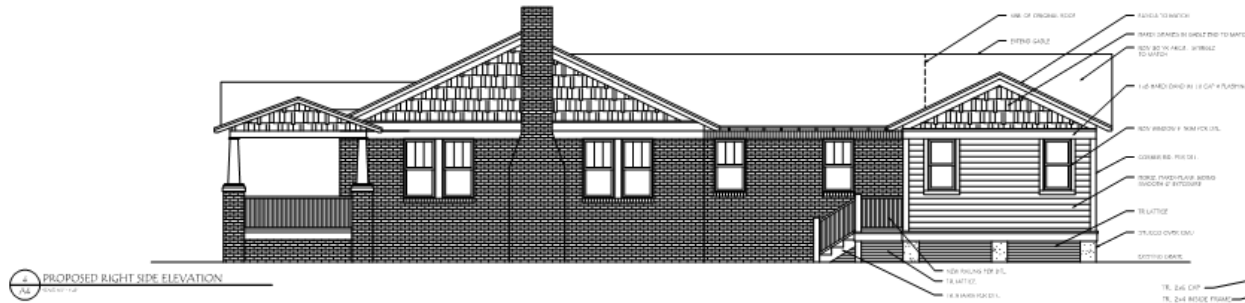
Our drawings are for the use of the client only. They are not to be used for any other purpose without the written consent of Studio 291 LLC. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The drawings are not to be used for any other purpose without the written consent of Studio 291 LLC.



Project: Addition & Renovation @  
304 Grove St., Charleston, South Carolina  
Sheet: 10  
EXISTING ELEVATIONS

S. P. N. Design  
All Rights Reserved  
Drawn By:  
Date Drawn:  
Amount for Printing:  
Amount for Permit:  
Revisions:  
1. Rev. 10/10/17  
2. Rev. 10/10/17  
3. Rev. 10/10/17  
4. Rev. 10/10/17  
5. Rev. 10/10/17  
Issue Date: 10/10/17

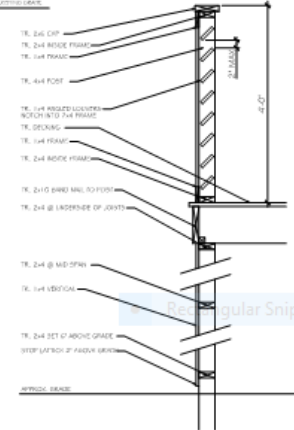
Project Number:  
17-291-693  
Sheet: 1 of 1  
AS



4 PROPOSED RIGHT SIDE ELEVATION  
A4



5 PROPOSED LEFT SIDE ELEVATION  
A4



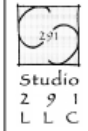
6 DETAIL @ HVAC ENCLOSURE  
A4



7 PROPOSED REAR ELEVATION  
A4



8 PROPOSED FRONT ELEVATION  
A4



291  
Studio  
291  
LLC

291 South River Street, Suite 207  
Charleston, South Carolina 29401  
Phone: 843.733.2911  
Fax: 843.733.2912  
www.studio291.com

Project: Addition & Renovation @  
304 Grove St., Charleston, South Carolina  
Sheet: 100  
PROPOSED ELEVATIONS

Scale: 1/8\"/>

Project Number: 17-291-C03  
Sheet: A-4

## **Agenda Item #B-2**

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**6 WOODALL COURT**

**(WESTSIDE)**

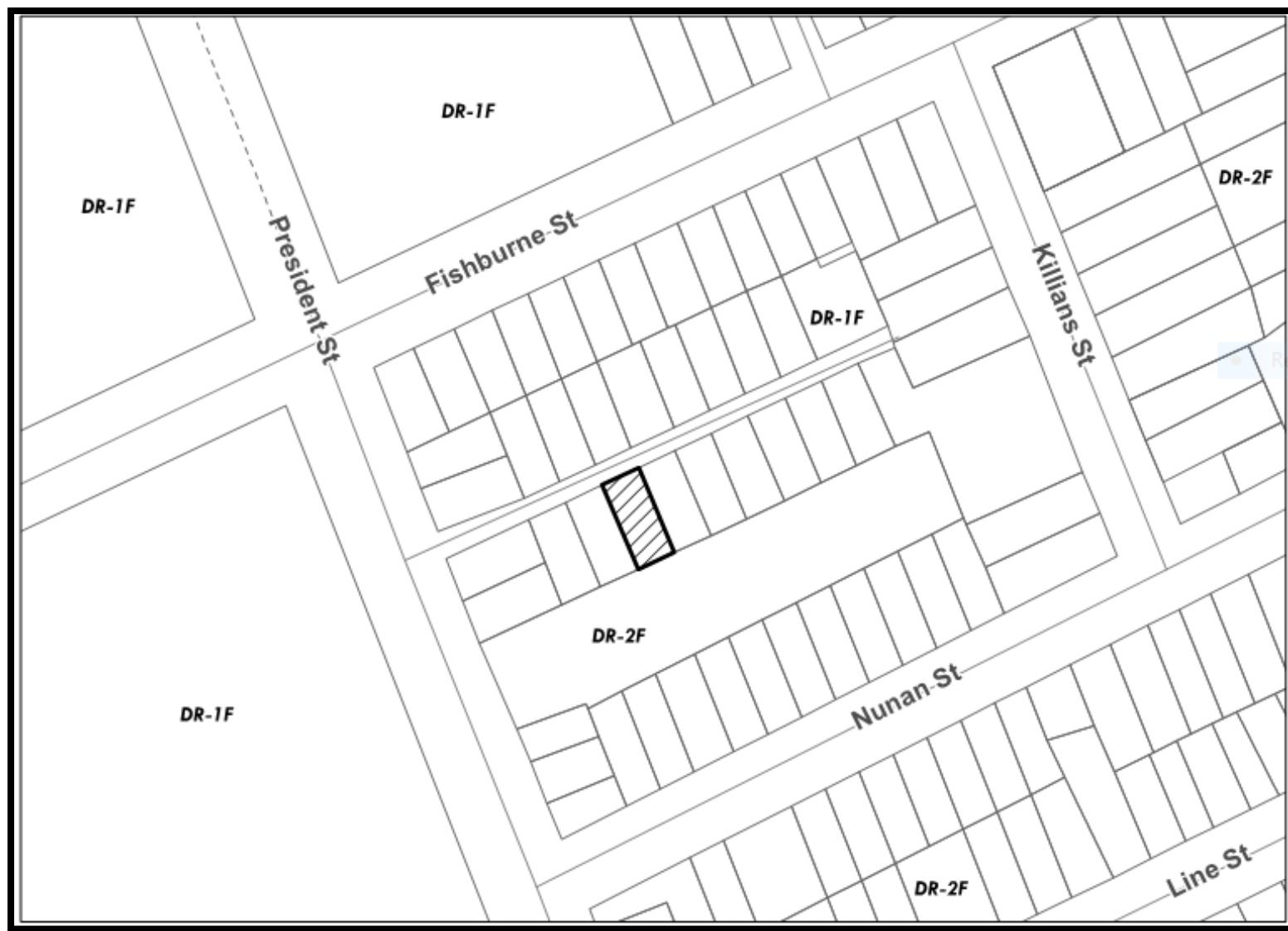
**TMS # 460-07-01-041**

Request special exception under Sec. 54-110 to extend a non-conforming 0-ft. east side building setback (3-ft. required).

Request variance from Sec. 54-301 to allow a building with a 3-ft. west side setback, a 3-ft. total side setback and a 69% lot occupancy (landing/steps and hvac platform) (7-ft. 10-ft. required, 50% Limitation; existing lot occupancy 62%).

Zoned DR-2F







City of Charleston

**Instructions** – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

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- ☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
- ☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: 4/7/20  
Property Address 6 Wendall Court TMS # 460-07-01-041  
Property Owner Leagaly Management Daytime Phone 510-967-4795  
Applicant John Sullivan / S Arch Studio Daytime Phone 843-700-1955  
Applicant's Mailing Address 104 Fishburne St., Charleston, SC 29403  
E-mail Address js@Sarchstudio.com

Relationship of applicant to owner (same, representative, prospective buyer, other) architect

Zoning of property DR-2F

**Information required with application: (check information submitted)**

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)
- ☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans
- ☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)
- ☒ Plans or documents necessary to show compliance with special exception requirements (3 sets)
- ☒ Check, credit card or cash (make checks payable to the City of Charleston)
- ☐ YES or ☐ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

**Optional but very helpful information:**

- ☐ Photographs
- ☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant John Sullivan Date 3/9/20

For office use only			
Date application received	<u>3/2/20</u>	Fee \$ <u>150</u>	Time application received <u>12 Noon</u>
Staffperson	<u>[Signature]</u>		Receipt # <u>941569</u>

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

Variance for lot occupancy -  
see attached

**Variance Test:** The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

Special Exception for setbacks -  
see attached

**All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.**

## Ashby, Pennye

---

**From:** jcs@sarchstudio.com  
**Sent:** Thursday, March 12, 2020 9:49 AM  
**To:** Ashby, Pennye  
**Subject:** 6 Woodall Ct  
**Attachments:** 20-008- 6 Woodall- Zoning-2020-0309.pdf

**CAUTION:** This email originated outside of the City of Charleston. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Penny,  
Per our discussion on Monday, here is my explanations for the application:

### Variance for Lot Occupancy:

- a.) The existing historic structure on site is over property line. The neighboring historic structure is also over the property line on this site. These are extraordinary and exception conditions that exist on this particular piece of property.
- b.) Most of the existing structures on this Court are raised out of the flood plain with parking underneath and do not encroach on other parcels.
- c.) Because of this, the property is unreasonably restricted without getting it raised and off of the neighboring property.
- d.) Authorization of this variance will eliminate encroachment on neighboring property and help alleviate parking problems and flooding problems. Both will be for the public good and benefit the surrounding properties.

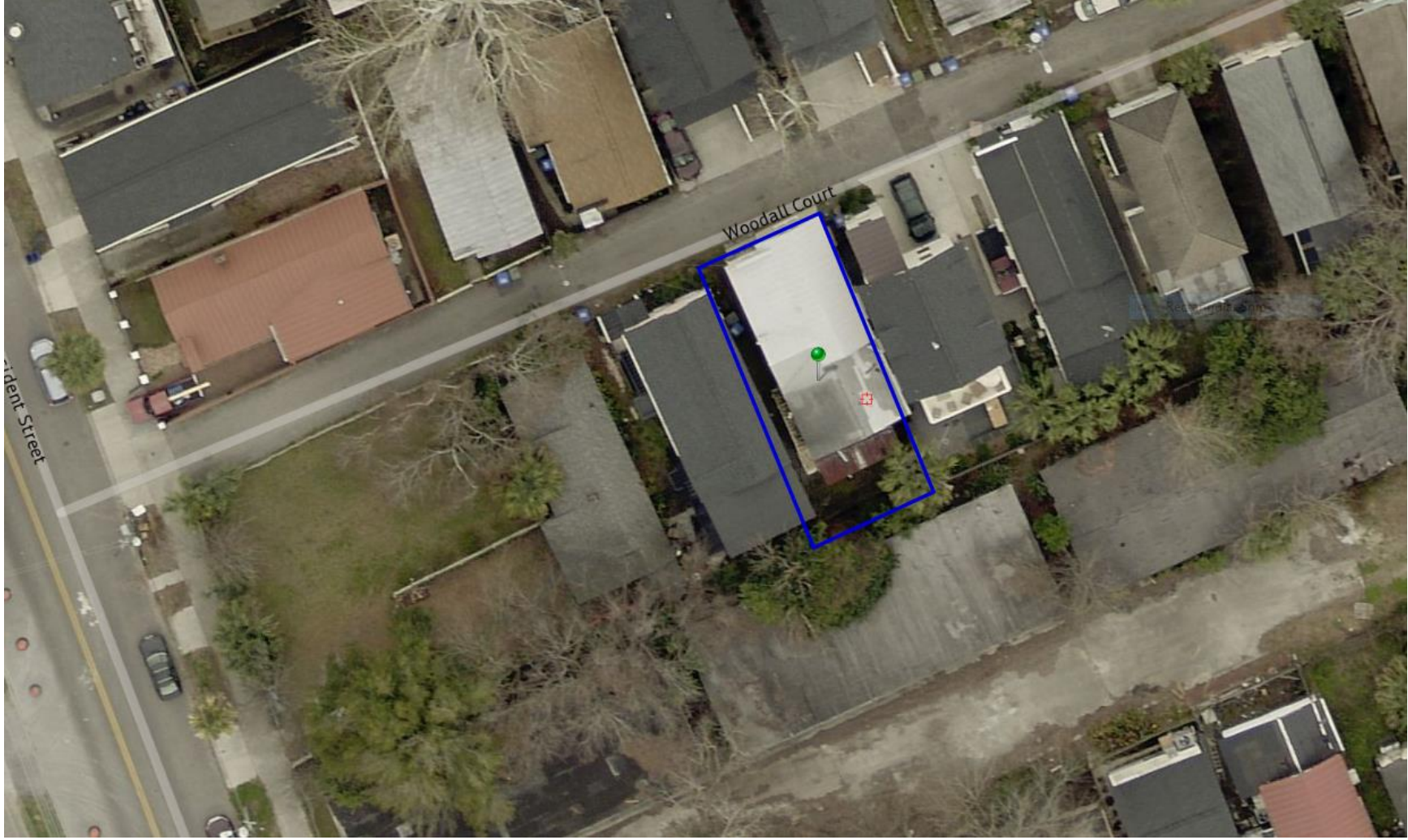
### Special exception for Setbacks:

The existing property is already in East setback and encroaches upon neighboring property. The neighboring property is already over the property line and encroaches on West Setback. Moving the building eliminates the buildings encroachment on neighboring property however this pushing the building over into the west setback more. Vertically raising the building gets the structure over the FEMA flood elevation and the City's freeboard requirement. It also allows for some parking on the site which currently has none. Most buildings on the Court are already raised out of the flood plain so this makes the structure in accord with most of the rest of the court.

Best,

John C Sullivan, AIA LEED BD+C







# Renovation to 6 Woodall Court

6 Woodall Court  
Charleston, South Carolina

March 9, 2020  
*Zoning Submittal*

## Sheet Index

G1.0 Cover Sheet

C1.1 Existing & Proposed Site Plans

A1.1 Existing Floor Plans

A1.2 New Floor Plans

A2.1 Existing Elevations

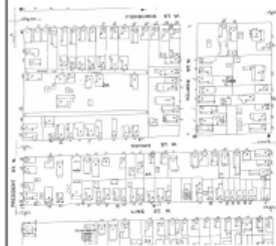
A2.2 New Exterior Elevations

A2.3 Photos

## ZONING MAP



## SANBORN MAPS

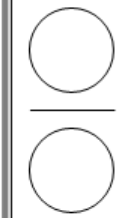


1944 SANBORN MAP



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104 Rainbow Street  
Charleston SC 29403  
(843) 723-1956  
www.sarchstudio.com  
Architecture • Interiors • Design



Project:  
**Renovation to 6 Woodall Court**  
6 Woodall Court  
Charleston, SC 29403

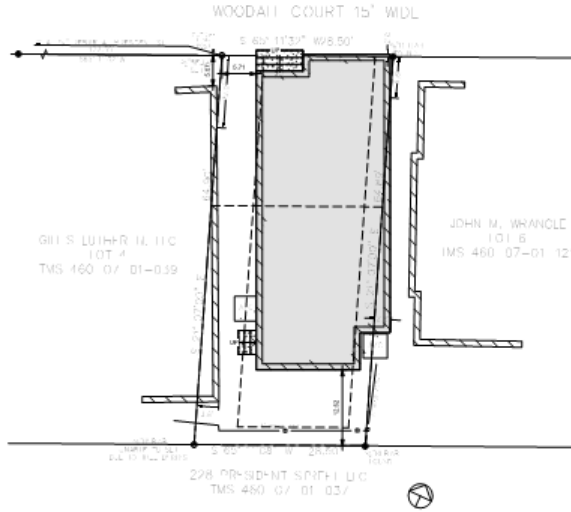
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**Cover Sheet**

Project # 18-016

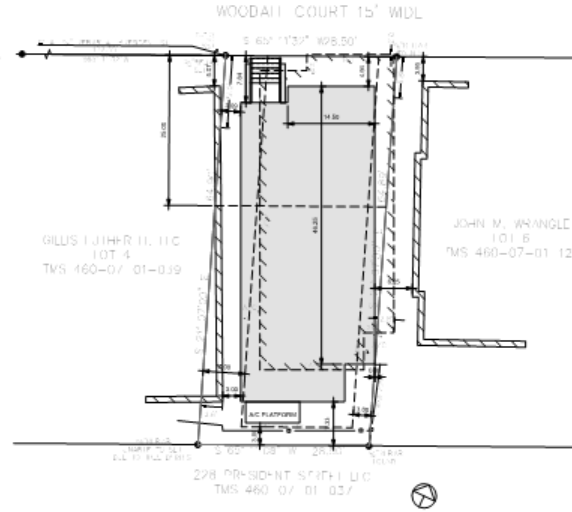
Date: 3-9-2020

Rev. Date:





1 Existing Site Plan  
1/8" = 1'-0"



2 Proposed Site Plan  
1/8" = 1'-0"

## CODE & ZONING INFORMATION

Project Address: 6 Woodall Court (Just S)  
TMS Number: 460-07-01-041  
Flood Zone: AE-10  
Zoning: DR-3F

### PRIMARY CODES AND ORDINANCES USED

- 2018 International Residential Code w/ SC Modifications
- 2009 International Energy Conservation Code
- SC Energy Efficiency Standards Act
- ASBPAC 90.1-2004

### LOT COVERAGE

Total Lot Area: 1845.6 sf  
Allowable Lot Coverage: 922.8 sf (50%)

Existing:  
Existing Building: 1,117.6 sf  
Over Property Line: -54.6 sf  
4 Woodall Encompassment: 83.5 sf  
Existing Coverage: 1,148.5 sf (62.3%)

Proposed:  
Existing Building: 1,117.6 sf  
Entry Landing: 22.5 sf  
AC Platform: 31.5 sf  
4 Woodall Encompassment: 83.5 sf  
Proposed Coverage: 1,255.1 sf (68.0%)

### SETBACKS

	Front & Rear	Side	Total
Required:	25' 0"	5' 0"	10'
Existing:	0.0'	12.62'	5.71'
Proposed:	4.84'	7.33'	3.09'

Adult Dwelling Distance from Front Lot Line:

Required: 80'  
Proposed: n/a

### PARKING

Required: 4 Spaces  
Existing: 0 Spaces  
Proposed: 2 Spaces

### MINIMUM LOT AREA PER FAMILY

Required: 4,093 sf (2,046 sf per 2 Families)  
Proposed: 1,845.6 sf (922.8 sf per Family)

### LOT USE

Existing Use: 2 Family  
Proposed Use: 2 Family

Rectangular Snip

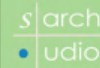
### EXISTING AND PROPOSED

	EXISTING	PROPOSED
UNIT 1	922.8 3	922.8 3
UNIT 2	922.8 3	922.8 3

## ENERGY CODE COMPLIANCE

### 2009 IECC ZONE 3 COMPLIANCE

Windows U Factor (w/0.50): 0.28 U  
Window SHGC (w/0.30): 0.28  
Door U Factor (w/0.50): 0.34  
Ceiling Insulation (R-30 Min): R-30  
Wall Insulation (R-13 Min): R-13  
Floor Insulation (R-19 Min): R-19  
Crawl Insulation (R-5 Min): R-6  
Building Envelope Air Sealing: Visual Inspection per IECC Section 402.4.2.2  
Pipes carrying fluids above 100 F shall be insulated to a min of R-3  
Minimum of 50% of lamps to be high-efficient  
No recessed lighting shall penetrate air barrier into conditioned space



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104 Fishburne Street  
Charleston SC 29403  
(843) 720-1955  
www.sarchstudio.com  
Architect - Planner - Designer



Project:  
Renovation to 6 Woodall Court  
6 Woodall Court  
Charleston, SC 29403

Sheet Title:  
Existing & Proposed Site  
Plans

Project # 18-014

Date: 3-9-2020

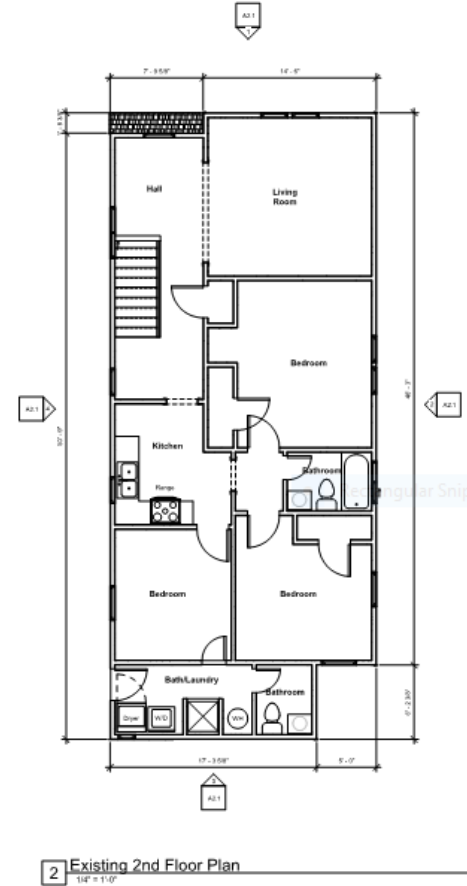
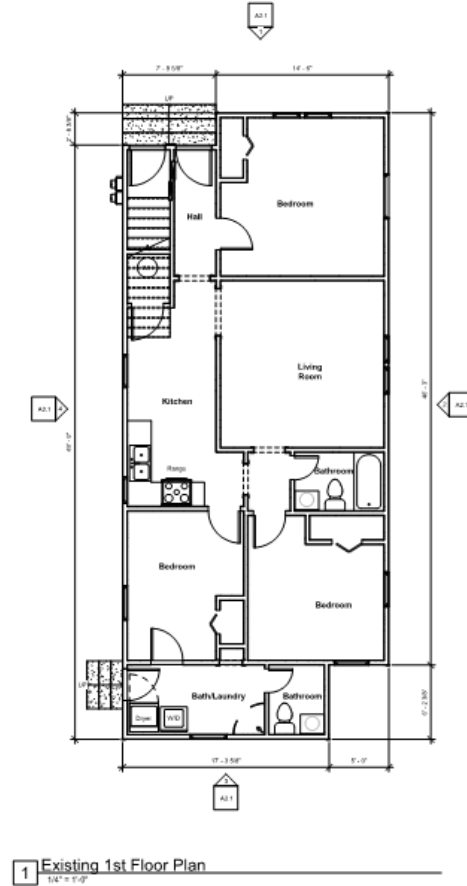
Rev: Date:


Sheet #:

C1.1



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www.sarchstudio.com  
Architect - Planning - Design

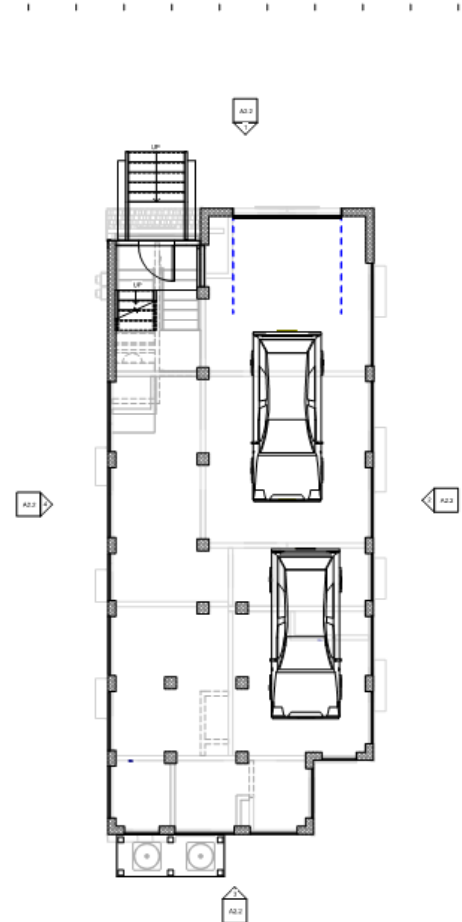
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**Renovation to 6 Woodall Court**  
6 Woodall Court  
Charleston, SC 29403

Sheet Title:  
**Existing Floor Plans**

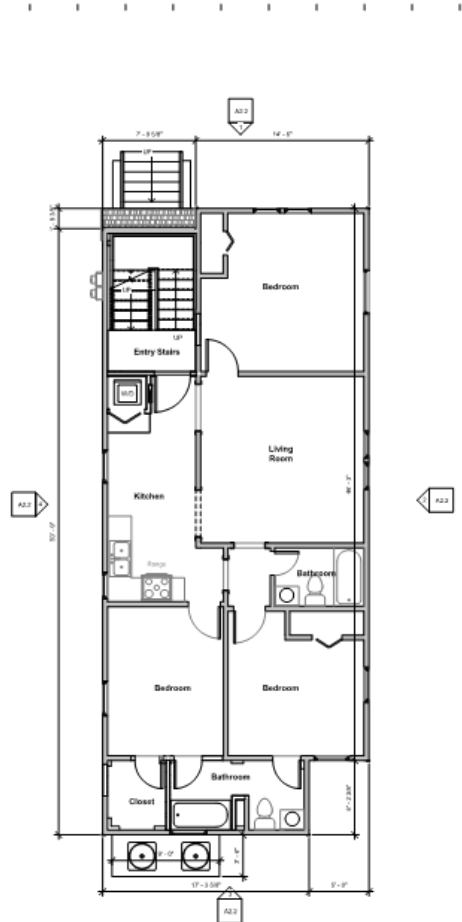
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Date:	3-9-2020
Rev:	Date:

Sheet #:  
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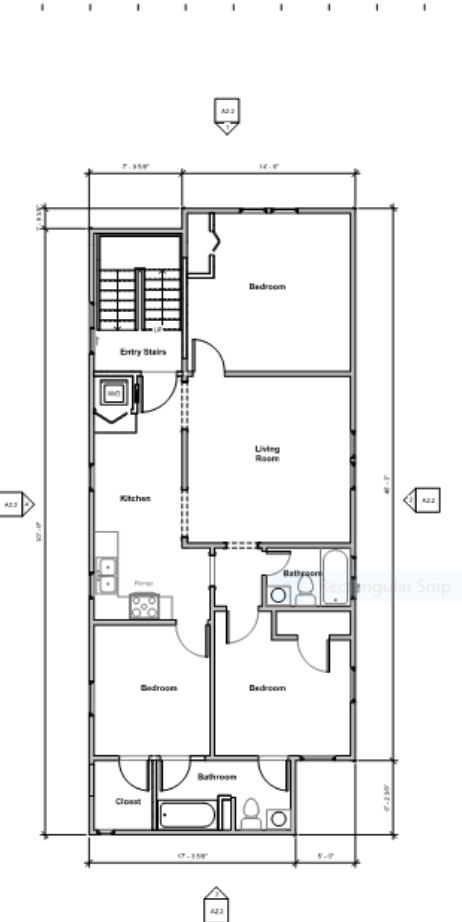
Copyright © 2020 s.arch+studio, LLC. All rights reserved. No part of this document may be reproduced without written permission from s.arch+studio, LLC. Project # 19-016. Date: 3-9-2020. Rev: 1.0. Project: Renovation to 6 Woodall Court, Charleston, SC 29403. Architect: s.arch+studio, LLC. Project: Renovation to 6 Woodall Court, Charleston, SC 29403. Architect: s.arch+studio, LLC.



1 New Garage Plan  
14'0" x 11'0"



2 New 1st Floor Plan  
14'0" x 11'0"



3 New 2nd Floor Plan  
14'0" x 11'0"

s.arch+studio, LLC  
104 Portview Street  
Charleston, SC 29403  
(843) 720-1955  
www.sarchstudio.com  
s.arch+studio - Charleston - Project

Project: Renovation to 6 Woodall Court  
6 Woodall Court  
Charleston, SC 29403

Sheet Title:  
New Floor Plans

Project # 19-016  
Date: 3-9-2020  
Rev: 1.0  
Date:

Sheet #  
A1.2

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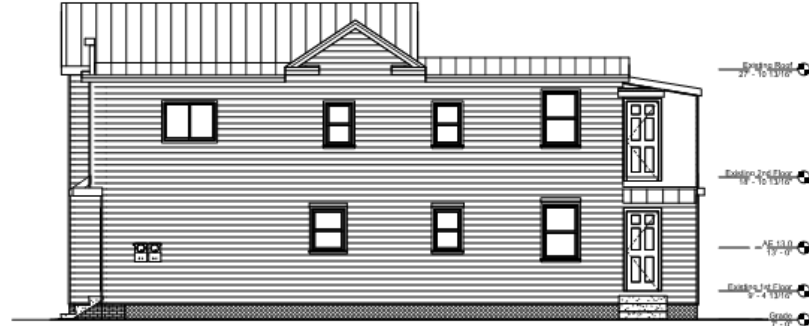
1 Existing Front Elevation  
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2 Existing East Elevation  
 1/4" = 1'-0"



3 Existing Rear Elevation  
 1/4" = 1'-0"

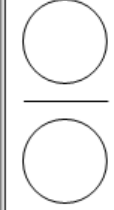


4 Existing West Elevation  
 1/4" = 1'-0"

Rectangular Snip

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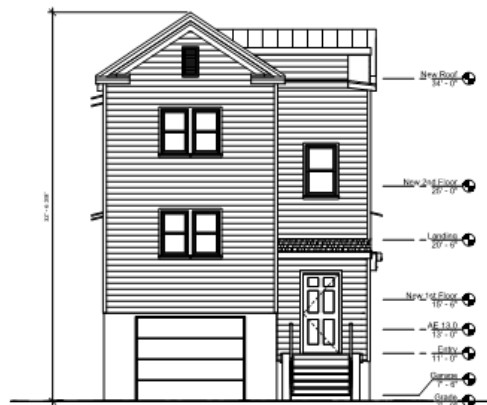
Project:  
 Renovation to 6 Woodall Court  
 6 Woodall Court  
 Charleston, SC 29403

Sheet Title:  
 Existing  
 Elevations

Project # 19-016  
 Date: 3-4-2020  
 Rev. Date:

Sheet #:  
 A2.1

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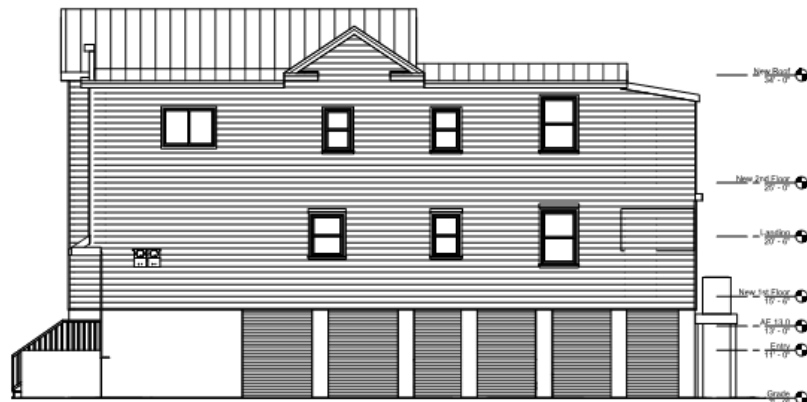
1 New Front Elevation  
1/4" = 1'-0"



2 New East Elevation  
1/4" = 1'-0"



3 New Rear Elevation  
1/4" = 1'-0"



4 New West Elevation  
1/4" = 1'-0"

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Project:  
Renovation to 6 Woodall Court  
6 Woodall Court  
Charleston, SC 29403

Sheet Title:  
New Elevations

Project # 18-016  
Date: 3-9-2020  
Rev: \_\_\_\_\_  
Date: \_\_\_\_\_

Sheet #:

A2.2



6 WOODALL COURT



RAISED HOUSES ON WOODALL COURT



## Agenda Item #B-3

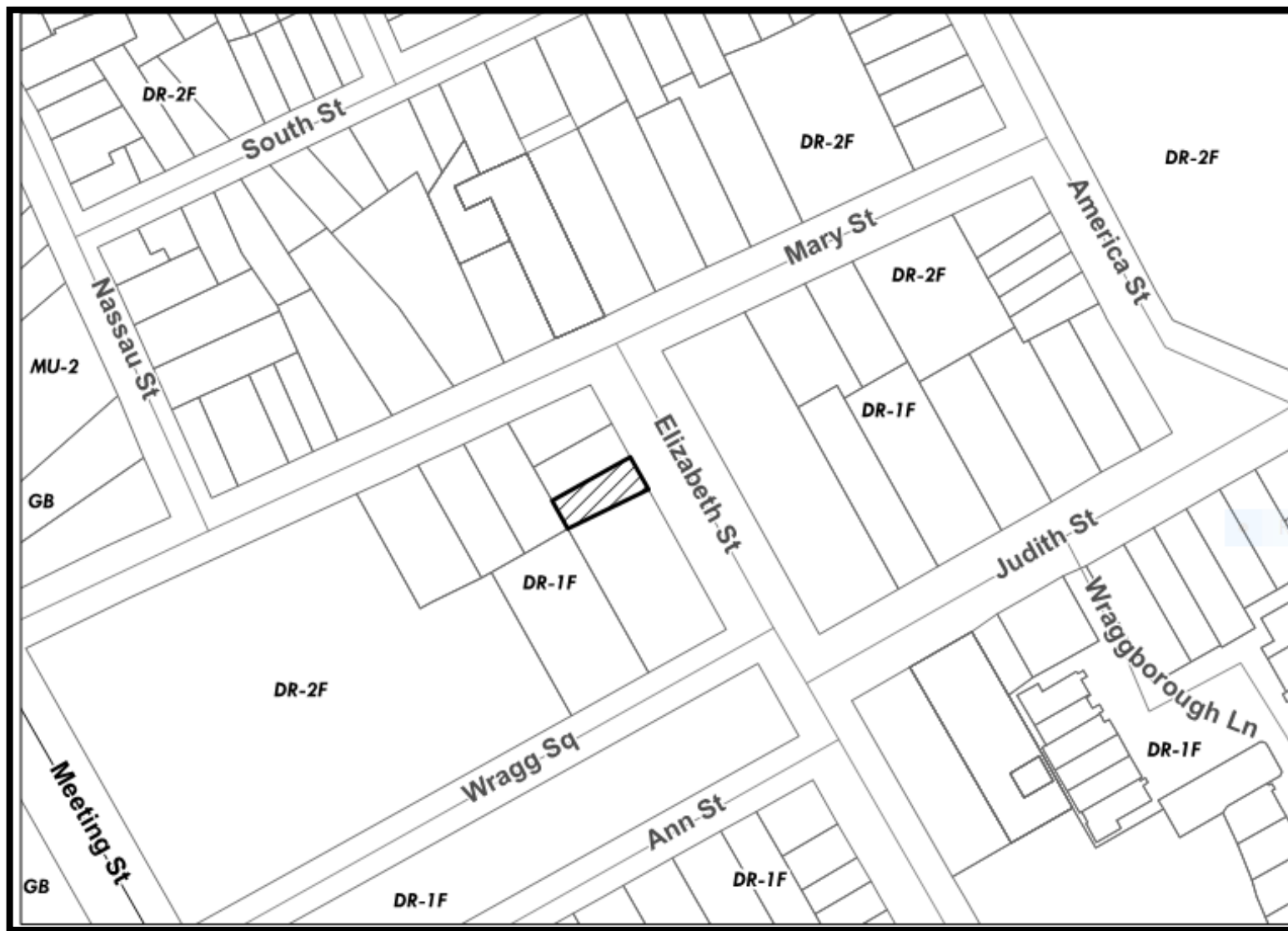
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51 ELIZABETH STREET  
(MAZYCK/WRAGGBOROUGH)

TMS # 459-09-03-139

Request variance from Sec. 54-301 to allow construction of a wall with a 7-ft. 10-inch height and an 8.5-ft. pier height (Height limitation 7-ft. and 8-ft.).

Zoned DR-1F







City of Charleston

**Instructions** – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

**THE APPLICANT HEREBY REQUESTS:**

- ☐ A Variance and/or Special Exception as indicated on page 2 of this application.
- ☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
- ☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: April 7

Property Address 51 Elizabeth Street TMS # 4590903139

Property Owner John & Jennifer Grosso Daytime Phone 704-779-1085

Applicant Glen Gardner, Landscape Architect Daytime Phone 843-722-5885

Applicant's Mailing Address Post office box 295, Charleston SC 29402

E-mail Address glen@gardnerla.com

Relationship of applicant to owner (same, representative, prospective buyer, other) landscape architect

Zoning of property dr-1f

**Information required with application: (check information submitted)**

- ☐ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)
- ☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans
- ☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)
- ☐ Plans or documents necessary to show compliance with special exception requirements (3 sets)
- ☐ Check, credit card or cash (make checks payable to the City of Charleston)
- ☐ YES or ☒ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

**Optional but very helpful information:**

- ☐ Photographs
- ☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant [Signature] Date 03-04-2020

For office use only			
Date application received	<u>3/6/20</u>	Time application received	<u>11:00</u>
Staffperson	<u>GB</u>	Fee	<u>\$ 150.00</u>
		Receipt #	<u>971567</u>



For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

\*previously approved 11-17-15, approval has expired, request is same as 2015.

Requesting a variance to allow increase of height of existing brick garden wall between 51 Elizabeth St. and 2 Wragg Sq. to a height of 7'-10", max. allowed 7'-0". Existing wall was constructed 1989-90.

Request is for interior of property only, length of 32', for addition of 10" beyond allowed height.

Existing conditions of lot configuration allows for visibility between private living areas of both homes and wall height addition would increase privacy for livability for both owners.

**Variance Test:** The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

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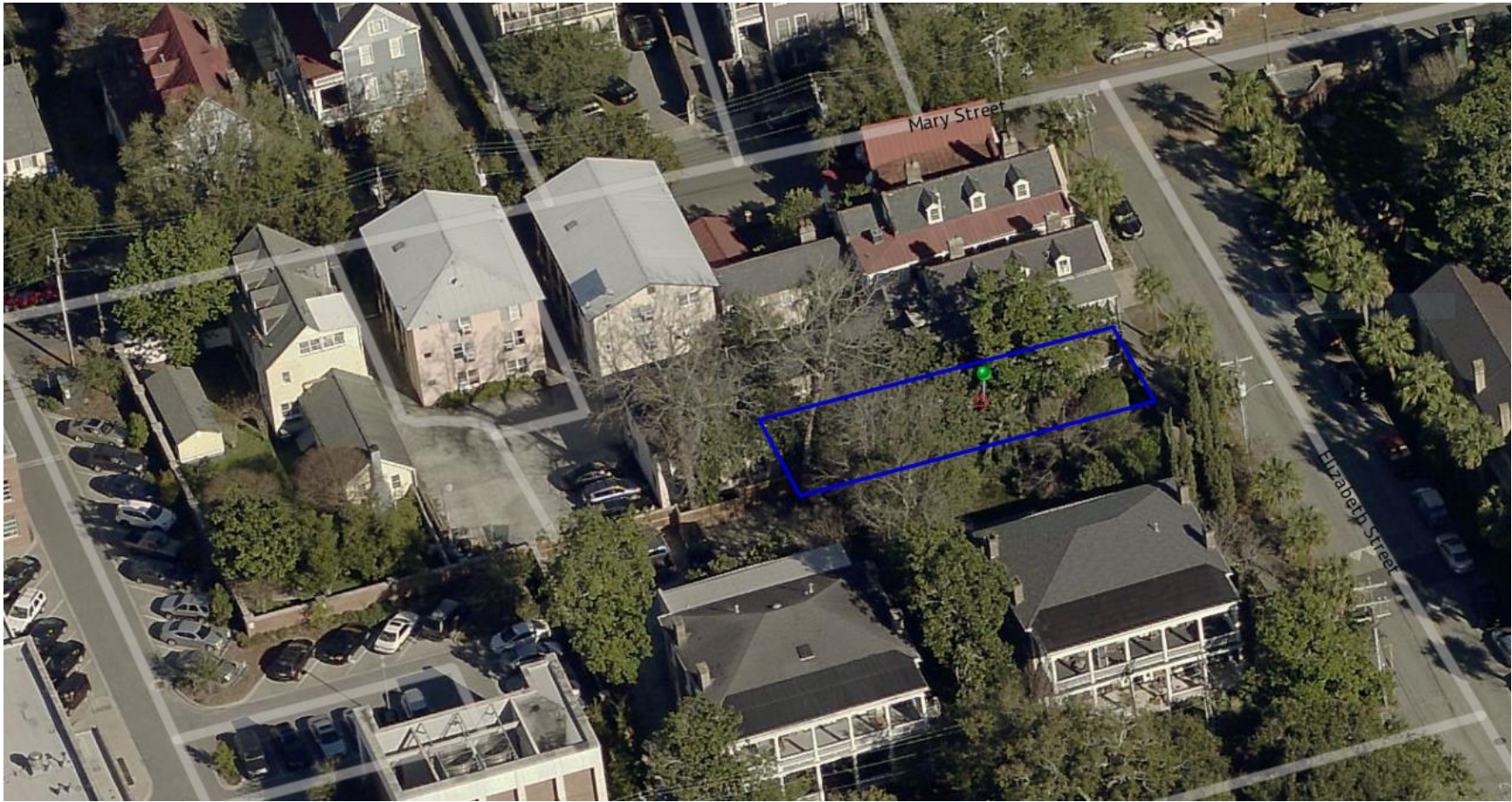
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**All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.**





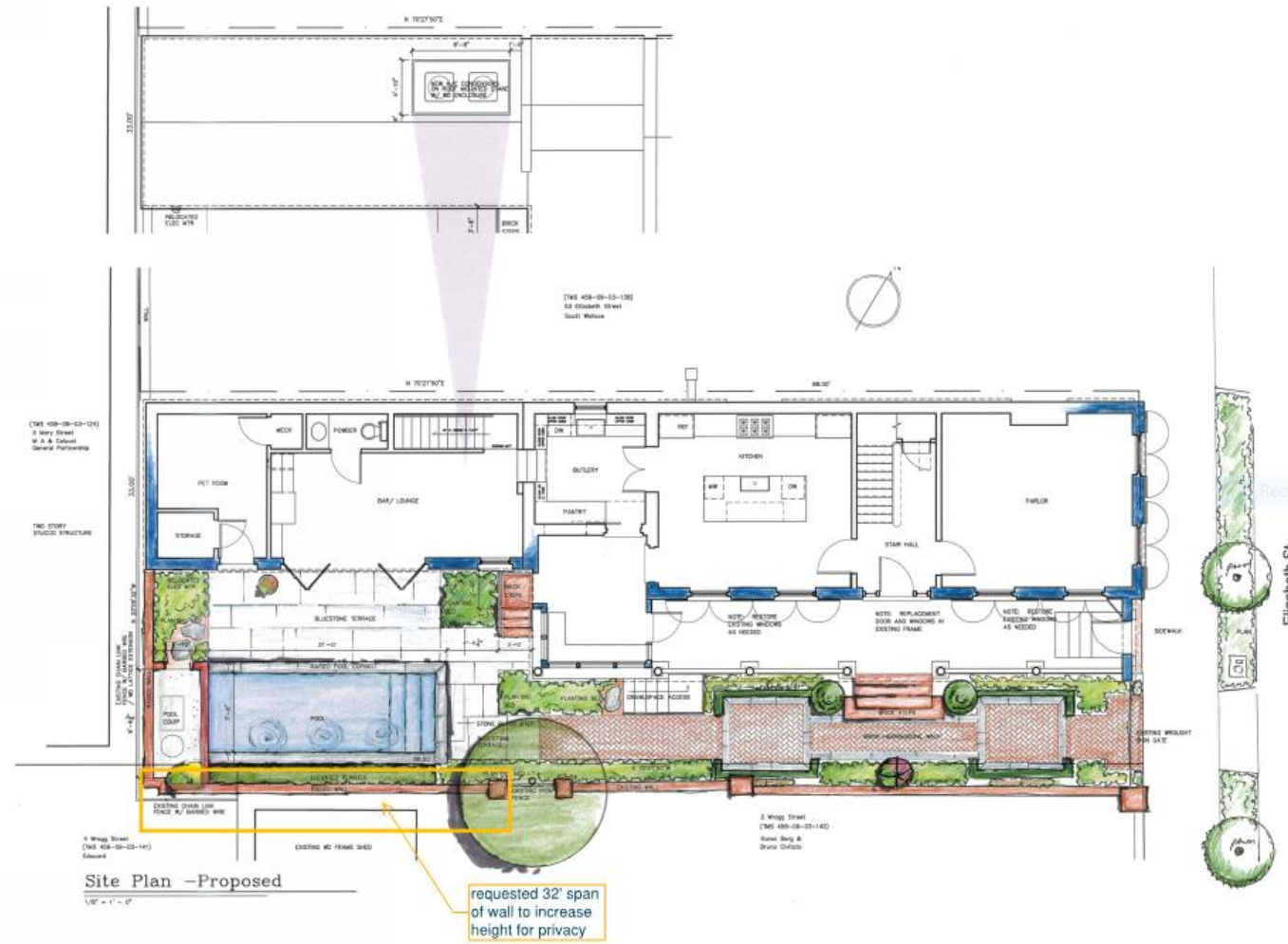


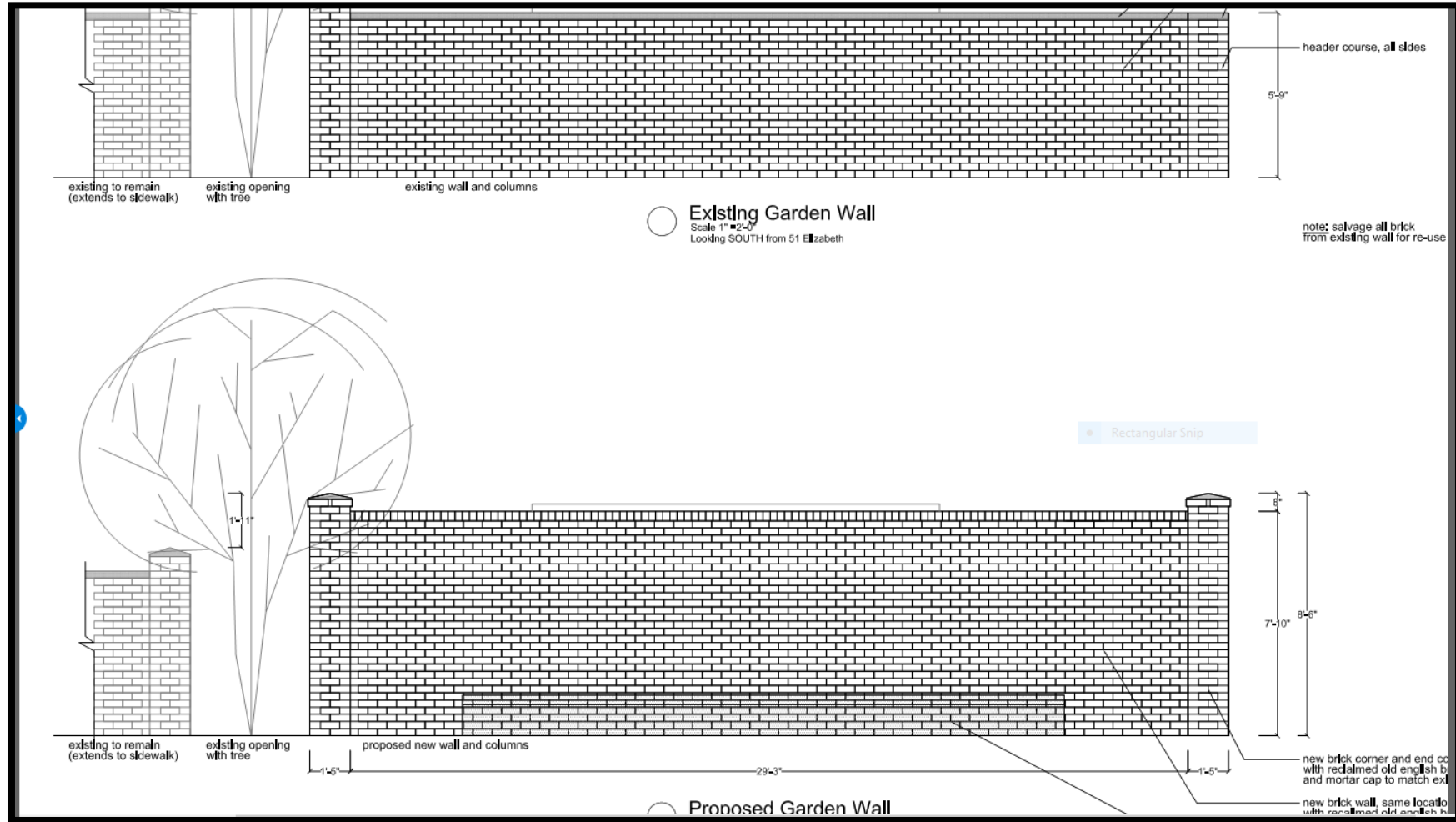
51 Elizabeth St Grosse Residence Charleston, SC 29401
PROJ % DRAWN: NM DATE: 8.16.2015 REVISIONS:
ST2

PROJ. #:  
DRAWN:  
MM  
DATE:  
8.16.2015  
REVISIONS:

ST2

SCHEMATIC GARDEN  
17 AUGUST 2015  
GLEN R. GARDNER, DLA.









Existing Brick Wall looking South, shed beyond at 2 Wragg



Existing Brick Wall looking South, shed beyond at 2 Wragg



Existing Brick Wall



Existing Brick Wall, shed beyond at 2 Wragg

Rectangular Ship

OLIVER GARDNER LANDSCAPE  
 1000 10th Ave  
 Suite 100  
 Seattle, WA 98101  
 Phone: 206.461.1234  
 Email: oliver@olivergardner.com

Scale: 1/4" = 1'-0"



BZAZ SUBMITTAL

Grosso Residence  
 1111 1st Ave  
 Seattle, WA 98101

Photos  
 sheet 6





PROPERTY LOCATION, TMS NUMBER(S) AND DESCRIPTION OF REQUEST(S):

51 ELIZABETH ST. (MAZYCK/WRAGGBOROUGH) (459-09-03-139)

Request variance from Sec. 54-301 to allow construction of a wall with a 7-ft. 10-inch maximum height and a 8.5-ft. maximum pier height (Limit is 7-ft. and 8-ft.).

Zoned DR-1F.

Order on Special Exception Request

The Board of Zoning Appeals-Zoning held a public hearing to consider the above appeal for a special exception which may be permitted by the Board pursuant to the Zoning Ordinance for the property described above. After consideration of the evidence and arguments presented, the Board makes the following findings of fact and conclusions.

☐ **DENIED.** The Board concludes that the standards in the Section(s) of the Zoning Ordinance listed above, which are applicable to the requested special exception(s), have not been met and therefore orders that the special exception(s) be denied.

☐ **APPROVED.** The Board concludes that the standards in the Section(s) of the Zoning Ordinance listed above, which are applicable to the requested special exception(s), have been met and therefore orders that the special exception(s) be granted, subject to the following conditions, if any: \_\_\_\_\_

Date issued: \_\_\_\_\_ Chairman \_\_\_\_\_

Order on Variance Request

The Board of Zoning Appeals-Zoning held a public hearing to consider an appeal for a variance from the strict application of the Zoning Ordinance for the property described above. After consideration of the evidence and arguments presented, the Board makes the following findings of facts and conclusions.

☐ **DENIED.** The Board concludes that the requirements for granting a variance have not been met and, therefore, orders that the variance be denied.

☒ **APPROVED.** The Board concludes that:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. Authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

THE BOARD, THEREFORE, finds that the applicant has an unnecessary hardship and orders that the variance be granted, subject to the following conditions, if any: \_\_\_\_\_

Date issued: 11/17/15 Chairman 

Approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Section 54-962. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.

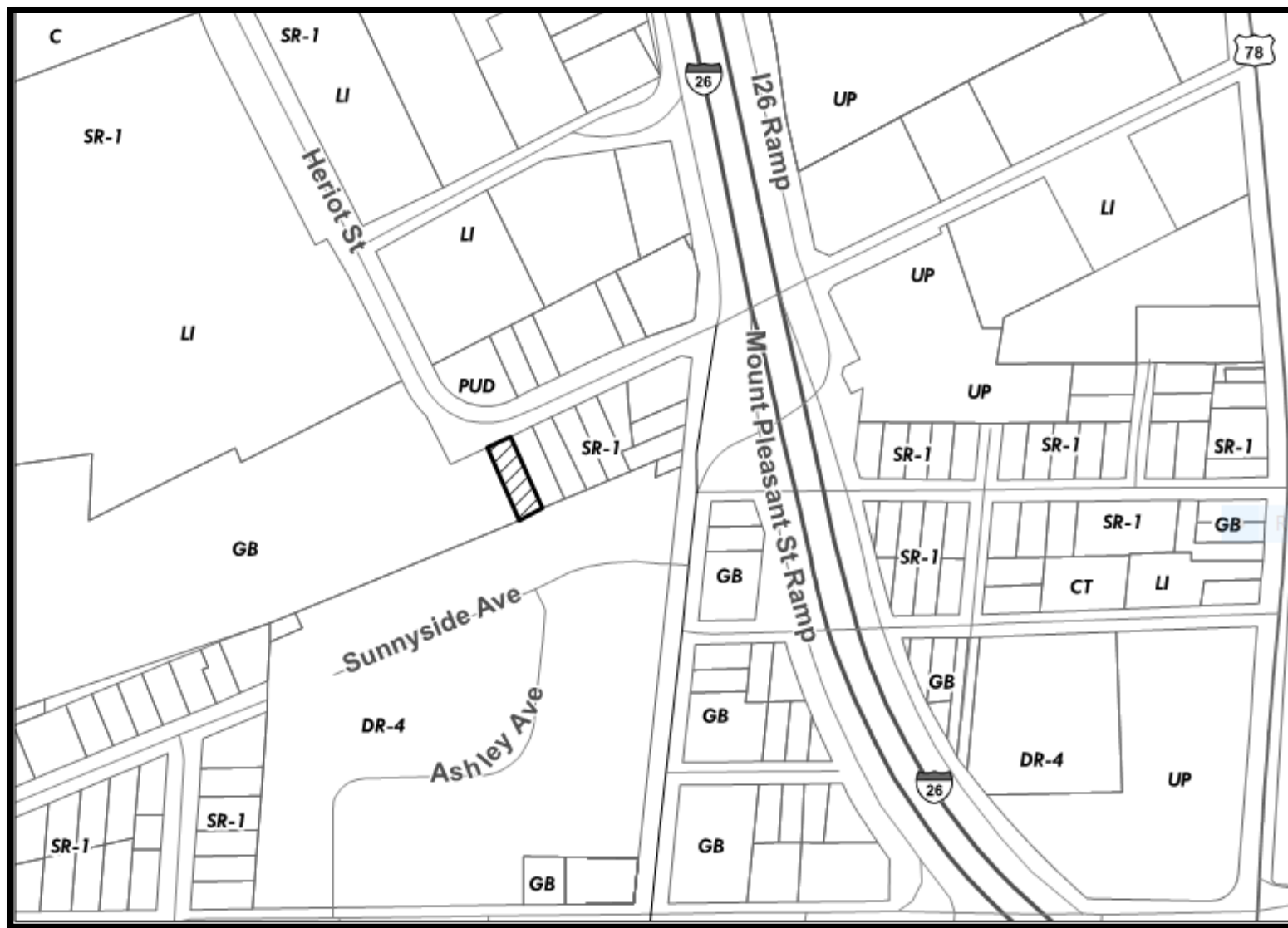
## **Agenda Item #B-4**

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2217 HERIOT STREET

TMS # 464-13-00-017

Request use variance from Sec. 54-203 to allow the reestablishment of two dwelling units (duplex) in a SR-1 (Single-Family Residential) zone district.





City of Charleston

Instructions – Submit this application, along with the required information and fee, to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.  
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).  
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: 04/07/2020

Property Address 2217 HERIOT ST TMS # 464-13-00-017

Property Owner PEOPLE'S FEDERATION BANK BUILDING, LLC Daytime Phone 843 910 5330

Applicant SAME / FRANK IWANICKI Daytime Phone \_\_\_\_\_

Applicant's Mailing Address 218 ST PHILIP ST ; CHAS SC 29403

E-mail Address frank.iwanicki@aecom.com

Relationship of applicant to owner (same, representative, prospective buyer, other) SAME

Zoning of property SEE SR 1

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)  
☒ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans  
☒ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)  
☒ Plans or documents necessary to show compliance with special exception requirements (3 sets)  
☒ Check, credit card or cash (make checks payable to the City of Charleston)  
☐ YES or ☒ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☒ Photographs  
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant [Signature] Date 03/04/2020

For office use only

Date application received

Staffperson

3/9/20

Fee

\$ 200.00

Time application received

Receipt #

12 Noon  
971570



For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

REQUEST A USE VARIANCE TO RE-ESTABLISH A PRE-EXISTING

DUPLEX. THE EXISTING STRUCTURE IS CONFIGURED AS A DUPLEX WITH A SOLID PARTITION WALL, TWO ENTRY DOORS, TWO REAR EXIT DOORS, TWO KITCHENS, AND TWO BATHROOMS. THE

EXTRAORDINARY AND EXCEPTION CONDITION IS THE REQUESTED

USE IS PRE-EXISTING AND CONSTRUCTED. ALTHOUGH THE

STRUCTURE AND USE IS PRE-EXISTING, THE SR-1 ZONING PRECLUDES USE AS A DUPLEX. ZONING TO THE WEST IS GB

AND TO THE EAST SR-1. TO THE SOUTH IS SUNNYSIDE W/ DUPLEXES. THE USE VARIANCE WILL NOT BE OF DETRIMENT

TO THE EXISTING PROPERTIES, WHICH ARE MOSTLY EQUAL OR HIGHER DENSITY.

Variance Test: The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

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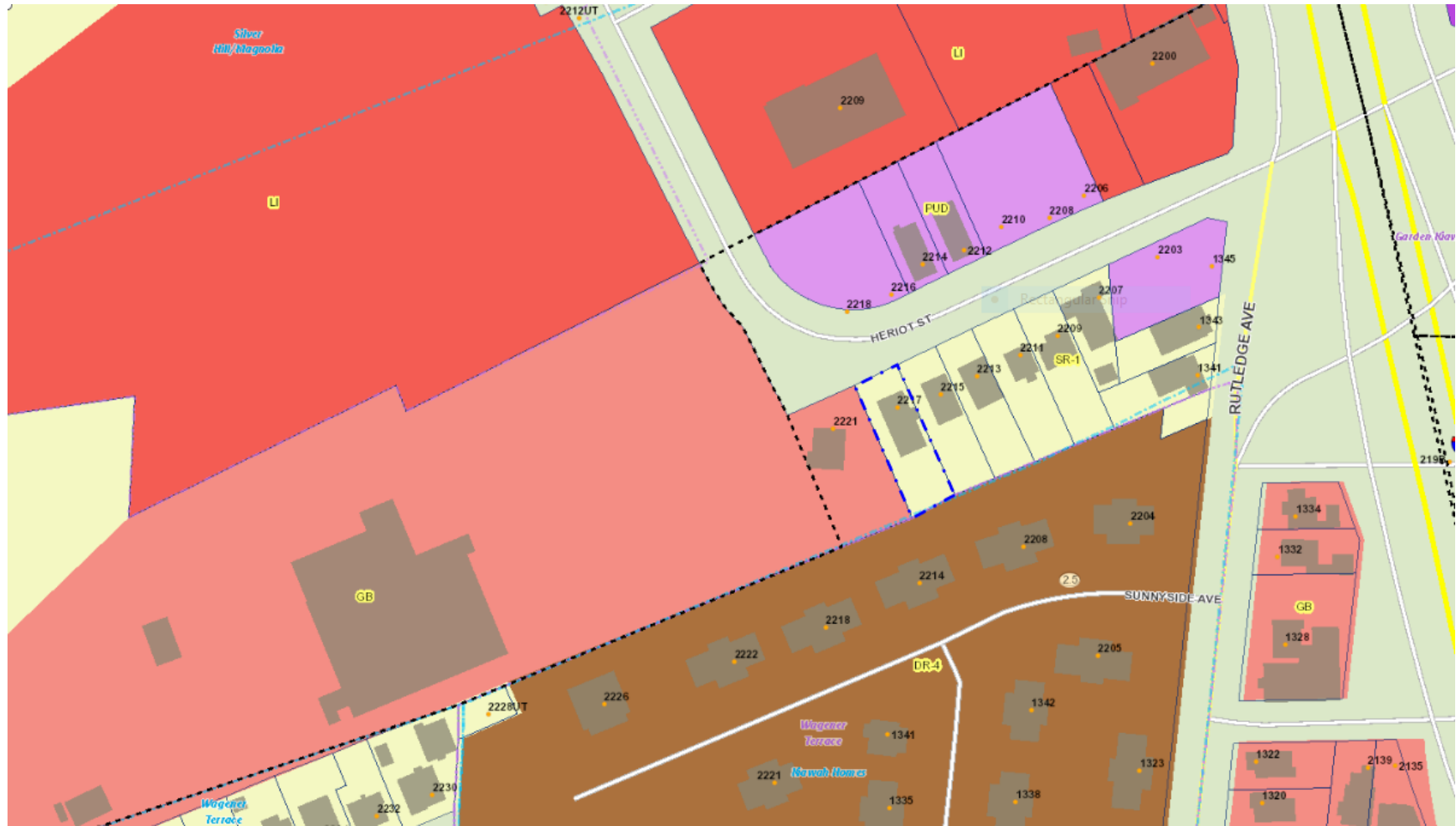
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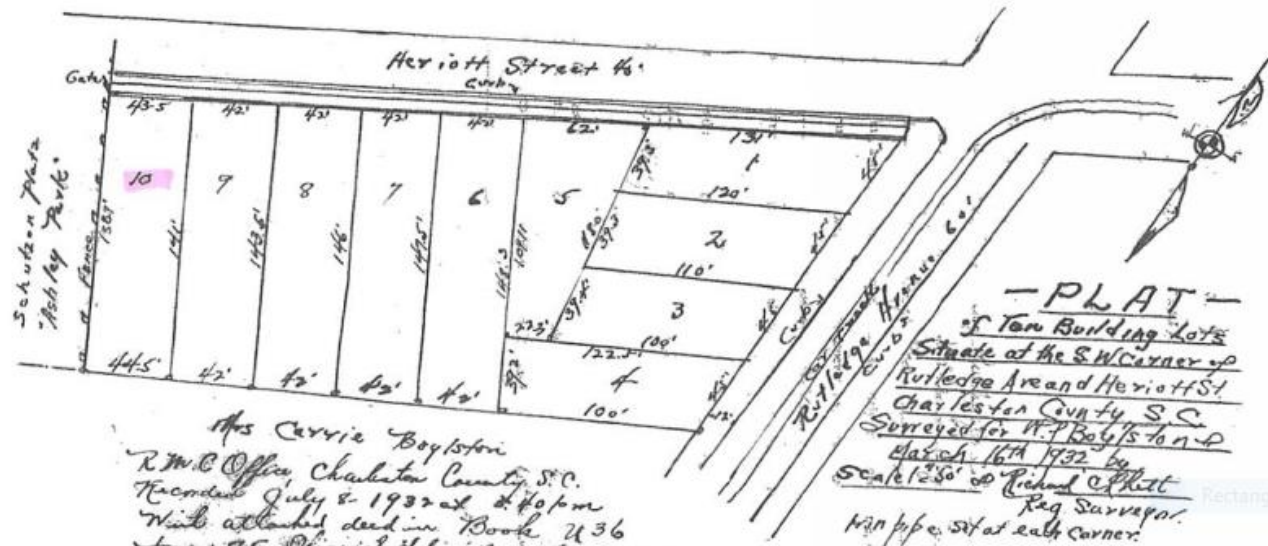
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All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.







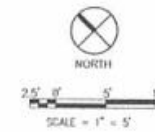
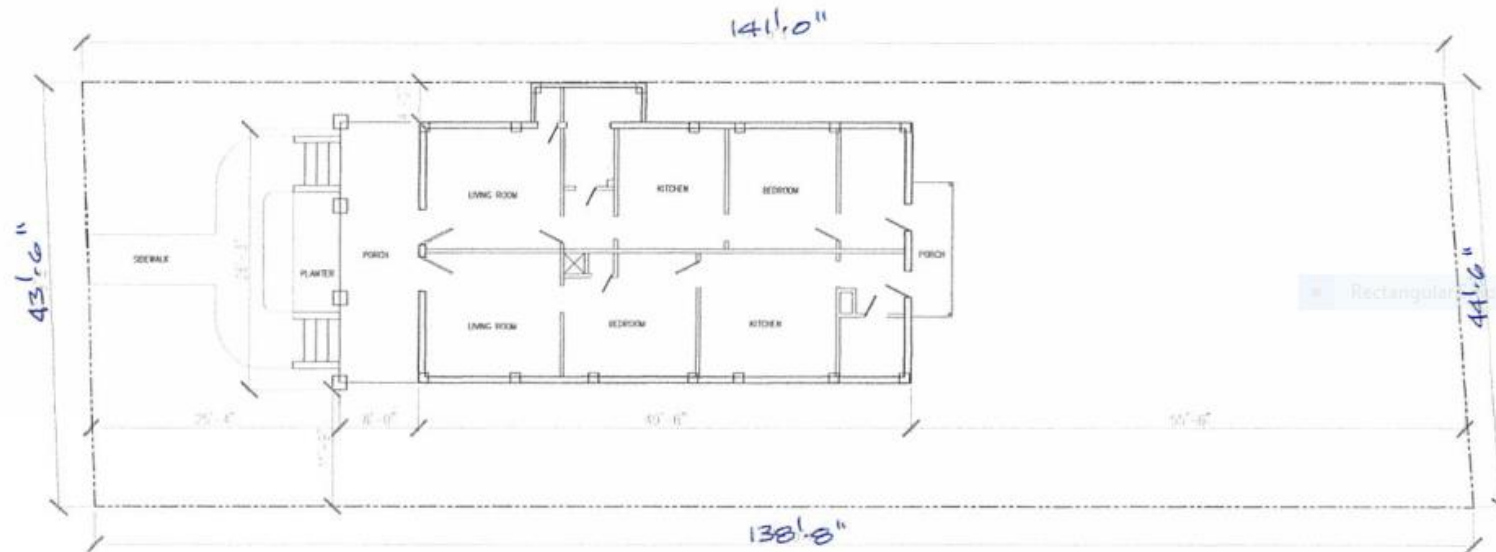


Mrs Carrie Boylston  
 R.M.C. Office, Charleston County, S.C.  
 Recorded July 8, 1932 at 2:40 p.m.  
 With attached deed in Book 236  
 page 75. Original delivered to H.W. Cogswell  
 Justice & Cogswell R.M.C. for clerk A.B.

0.133 ACRES

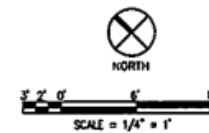
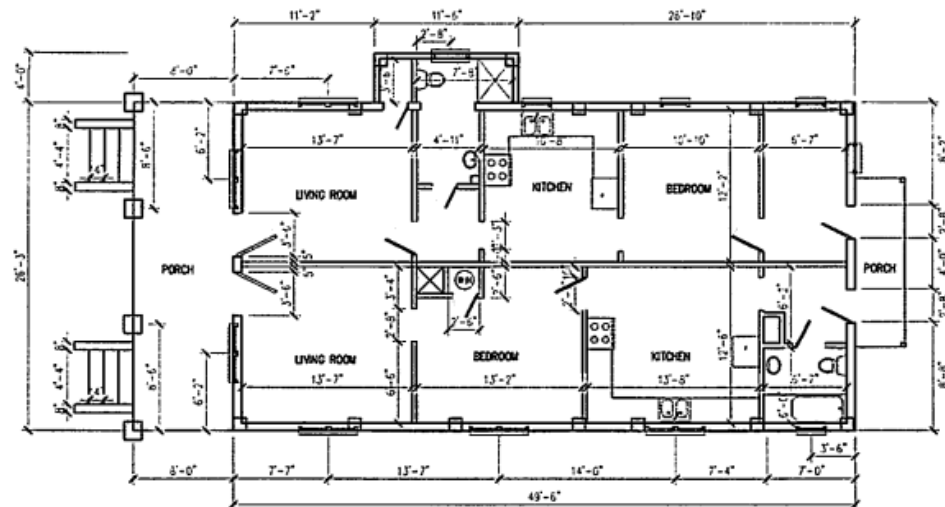
LEGEND

APPROXIMATE PROPERTY LINE



C-01 SITE PLAN

IWANICKI - VON ASTEN  
2217 HERIOT STREET  
CHARLESTON, SC 29403  
CURRENT USE- VACANT DUPLEX

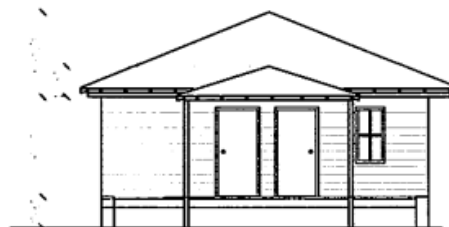


Rectangular Snip

**A-01 EXISTING FLOOR PLAN**  
 IWANICKI - VON ASTEN  
 2217 HERIOT STREET  
 CHARLESTON, SC 29403  
 CURRENT USE- VACANT DUPLEX



NORTH SIDE ELEVATION



SOUTH SIDE ELEVATION

• Rectangular Snip



A-03 SIDE ELEVATIONS

IWANICKI - VON ASTEN  
2217 HERIOT STREET  
CHARLESTON, SC 29403  
CURRENT USE- VACANT DUPLEX



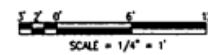


WESTSIDE ELEVATION



EASTSIDE ELEVATION

• Rectangular Snip

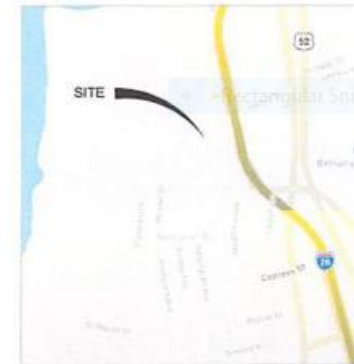


A-02 SIDE ELEVATIONS

IWANICKI - VON ASTEN  
2217 HERIOT STREET  
CHARLESTON, SC 29403  
CURRENT USE- VACANT DUPLEX



**2217 HERIOT STREET  
CHARLESTON, SC 29403  
CURRENT USE- VACANT DUPLEX  
ZONING SR1**



**LOCATION MAP**  
NOT TO SCALE











## **Agenda Item #B-5**

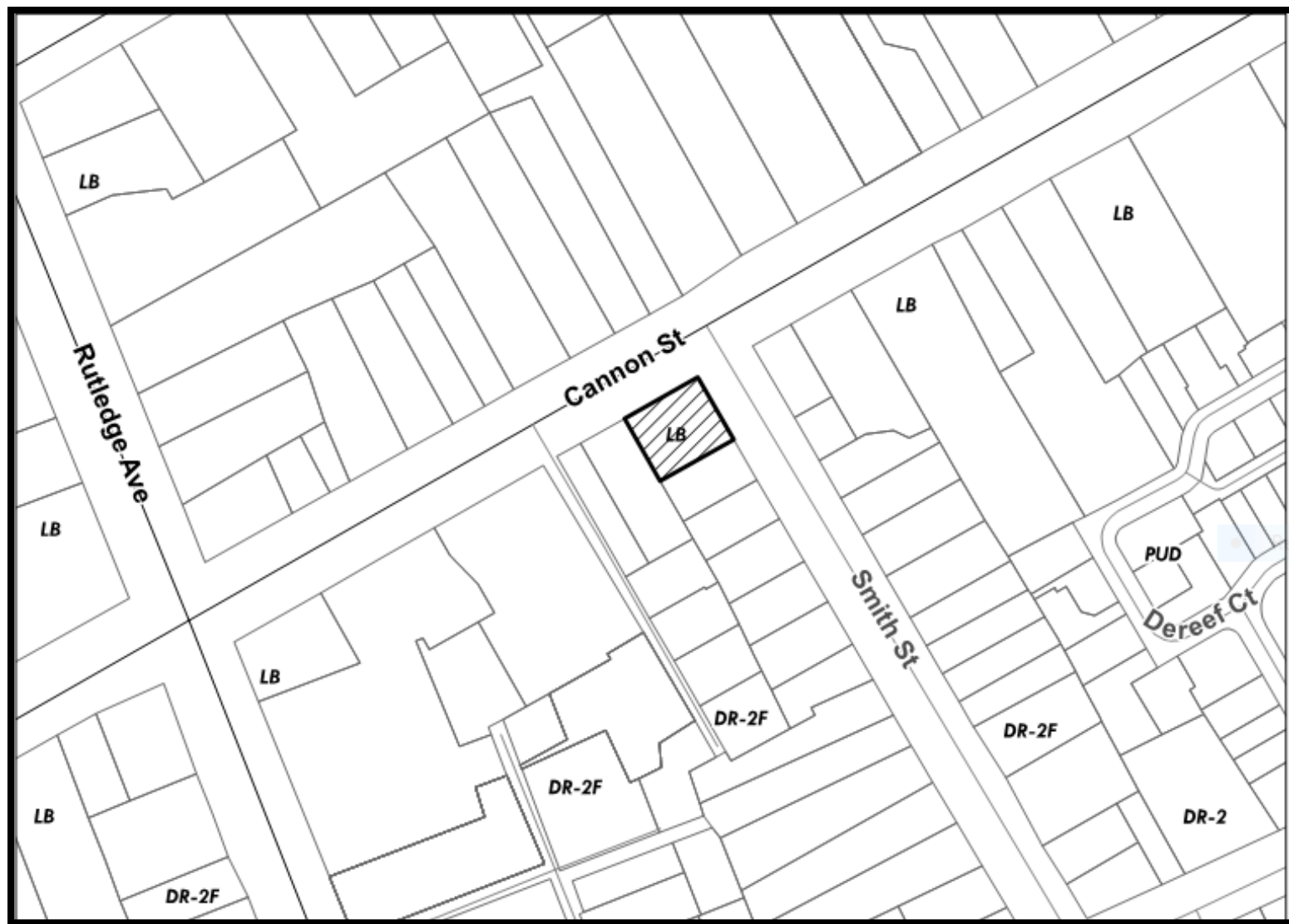
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**81-83 CANNON STREET  
(CANNONBOROUGH/ELLIOTBOROUGH)**

**TMS # 460-15-02-017**

**Request special exception under Sec. 54-511 to allow 1,149sf of inside patron use area for a restaurant use without providing required parking spaces (12 spaces required).**

**Zoned LB**





City of Charleston

**Instructions** – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

**THE APPLICANT HEREBY REQUESTS:**

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.  
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).  
☐ Extension of an unexpired Variance and/or Special Exception approval.

**MEETING DATE REQUESTED:** April 7, 2020

Property Address 81-83 Cannon Street, Charleston TMS # 460-15-02-017

Property Owner Lowcountry Marketing Group LLC Daytime Phone 843.849.9999

Applicant Laura Altman, LFA, & Mark Regalbuto, Renew Urban Daytime Phone 843.901.8485 Laura

Applicant's Mailing Address 32 S. Hampton Dr., Charleston SC 29407

E-mail Address laura@LFA-architecture.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Architect / representative

Zoning of property LB - Non Residential

**Information required with application: (check information submitted)**

- ☐ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)  
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans  
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)  
☐ Plans or documents necessary to show compliance with special exception requirements (3 sets)  
☐ Check, credit card or cash (make checks payable to the City of Charleston)  
☐ YES or ☐ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

**Optional but very helpful information:**

- ☐ Photographs  
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Laura F. Altman Date March 5, 2020

**For office use only**

Date application received 3/9/20  
Staffperson THH

Fee \$ 400.00

Time application received 9:55  
Receipt # 971568



For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

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**Variance Test:** The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

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2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

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For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

Requesting a special exception to Section 54-511, for no onsite parking for the commercial spaces.

The ordinance requires 12 parking spaces for 1149sf of indoor patron use area and 1 parking space for the office (278sf). The two onsite parking spaces are designated for the residential units per BZA-Z approval December 17, 2019.

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**All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.**







Project: 81-83 Cannon Street

Date: March 5, 2020

Page: 1



Existing East and North Elevations, at the corner of Smith and Cannon Streets

Project: 81-83 Cannon Street

Date: March 5, 2020

Page: 2



Existing North (Cannon Street) Elevation



Project: 81-83 Cannon Street

Date: March 5, 2020

Page: 3



Existing South (rear) and East (Smith Street) Elevations of 81 Cannon Street

Project: 81-83 Cannon Street

Date: March 5, 2020

Page: 4



Existing South (rear) Elevation of 83 Cannon Street (left side of photo) and West Elevation of 81 Cannon Street (middle of photo)

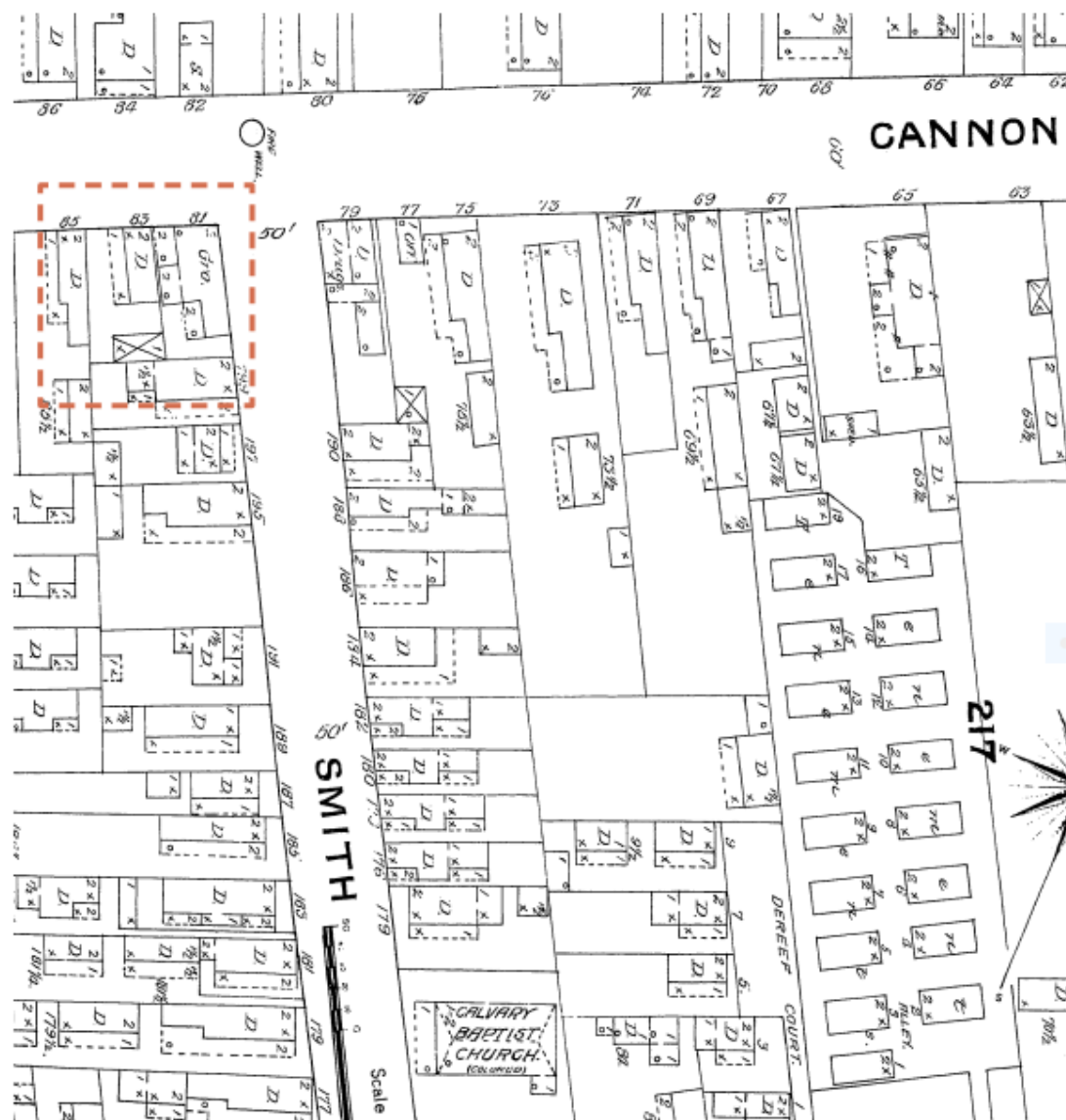


Existing West and South (rear) Elevations of 81 Cannon Street



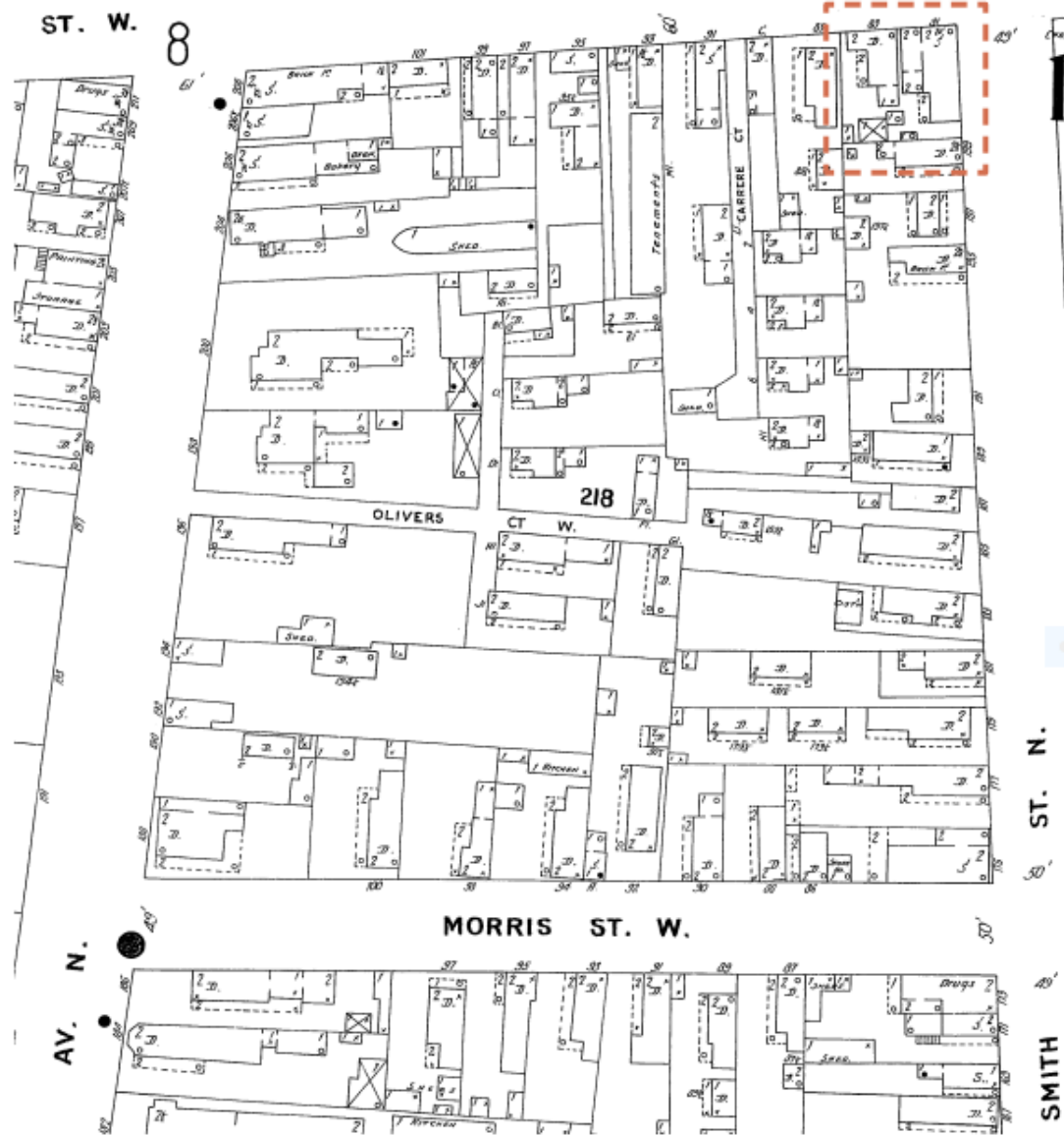


Existing South (rear) Elevation of 83 Cannon Street

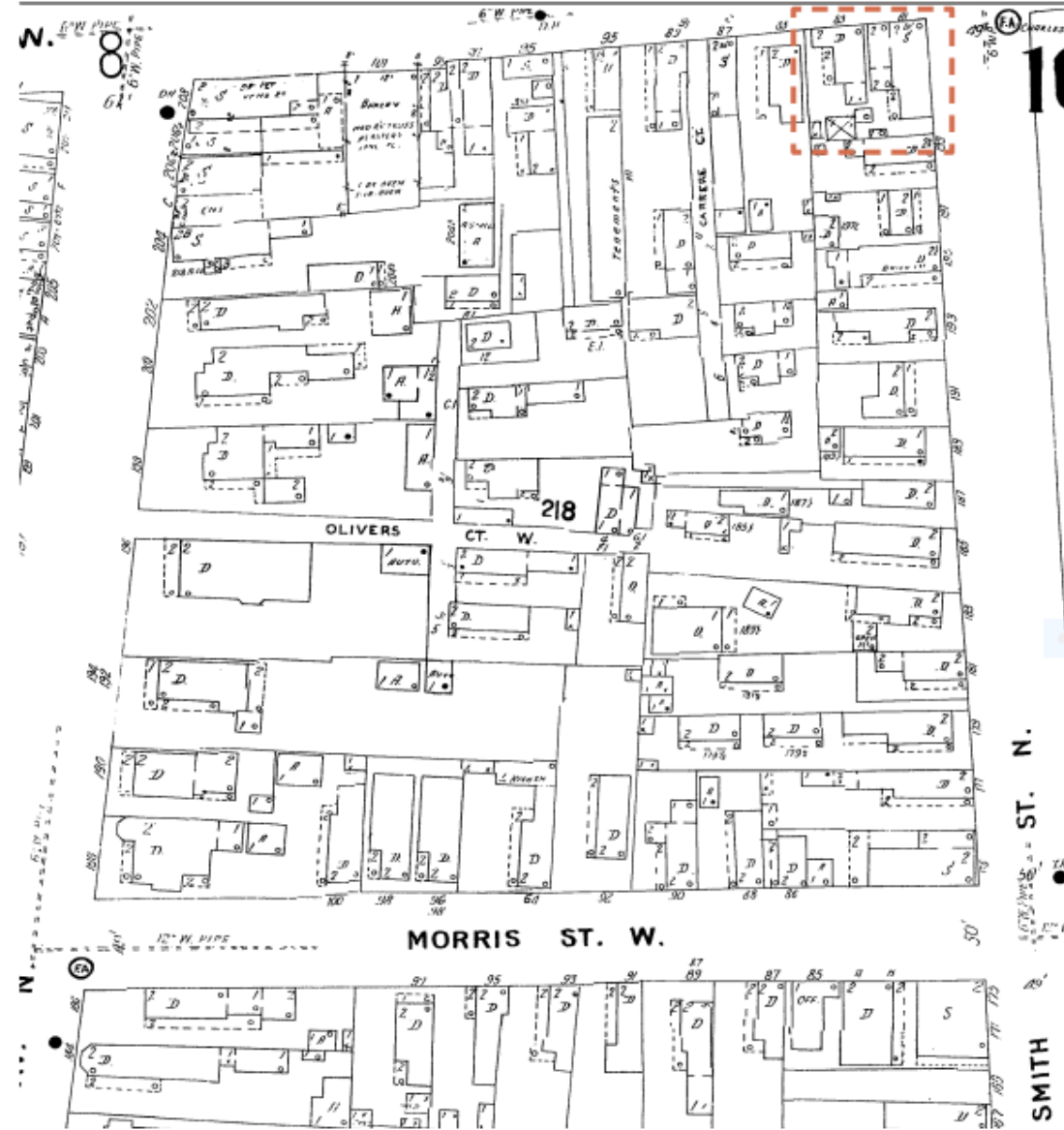


1888 Sanborn Map, showing 81 and 83 Cannon Street as separate properties, with the two buildings listed as a "Grocery" and a "Dwelling" respectively.

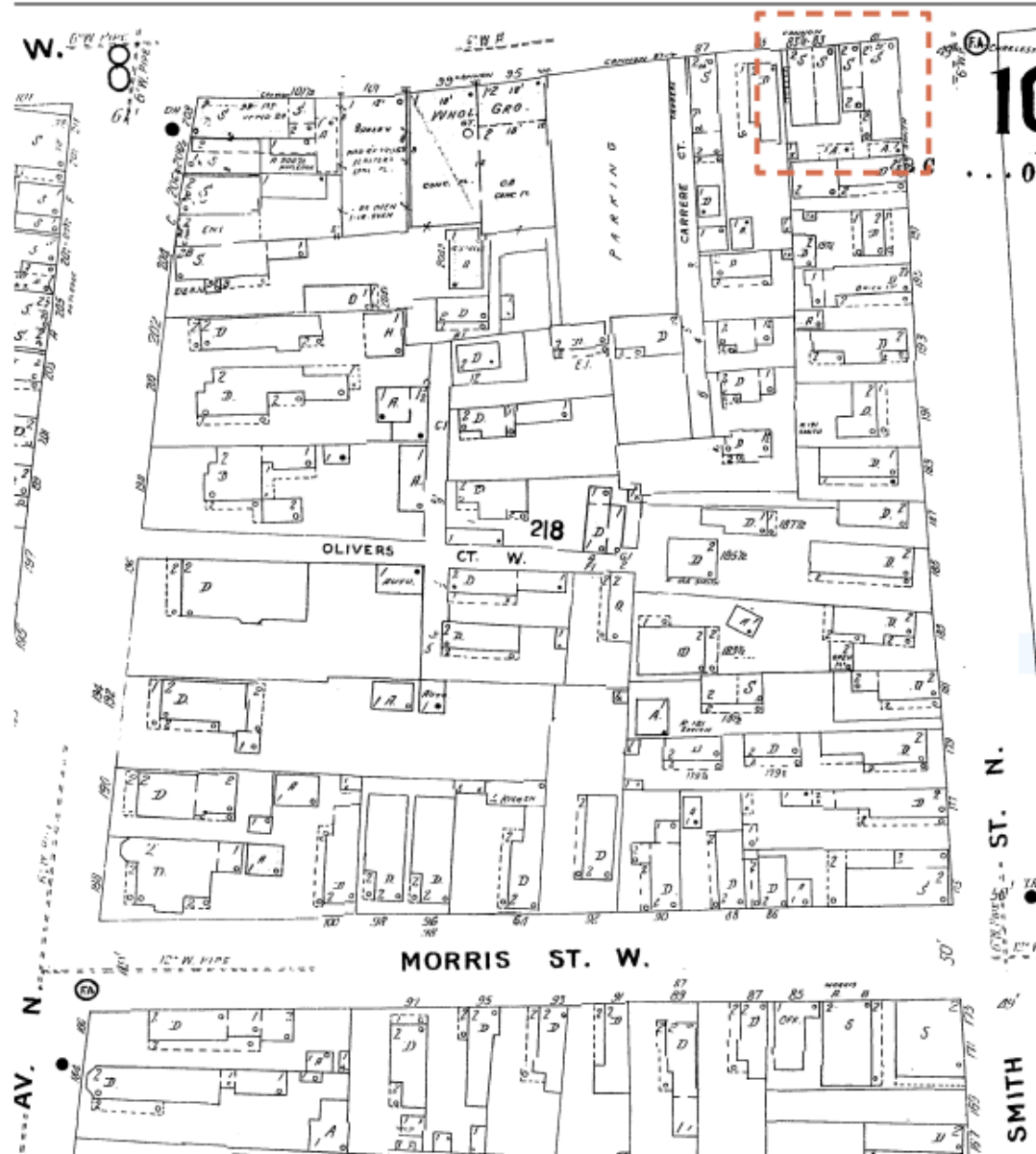




1902 Sanborn Map, showing 81 and 83 Cannon Street as one property, with the two buildings listed as a "Store" and "Dwelling" respectively.



1944 Sanborn Map, showing 81 and 83 Cannon Street as one property, with the two buildings listed as a "Store" and "Dwelling" respectively.



1951 Sanborn Map, showing a change to four "Stores" at 81, 83, and 83 1/2 Cannon Street.



1931 photo of 81-83 Cannon Street, from Historic Charleston Foundation website.



1985 Architectural Survey photo of 81 Cannon Street, City of Charleston Board of Architectural Review files



1985 Architectural Survey photo of 81-83 Cannon Street, City of Charleston Board of Architectural Review files



# SMITH & CANNON

81-83 CANNON STREET  
CHARLESTON, SOUTH CAROLINA

## PROJECT NOTES

1. GENERAL INFORMATION  
ADDRESS: 81-83 CANNON STREET  
CHARLESTON SC 29403  
TMS: 460-11-02-017  
ZONING CLASS: LB NON-RESIDENTIAL  
FLOOD ZONE: AE-13 (2004 FIRM)  
SITE AREA: 3744 SF (0.09 ACRES)

## 2. BUILDING SIZE

EXISTING FIRST FLOOR: 2470 SF  
EXISTING SECOND FLOOR: 2163 SF  
TOTAL EXISTING: 4633 SF  
PROPOSED FIRST FLOOR RESTAURANT: 1962 SF  
PATRON USE: 1149 SF  
KITCHEN: 694 SF  
RESTROOMS: 130 SF  
PROPOSED FIRST FLOOR OFFICE: 278 SF  
PROPOSED FIRST FLOOR RESIDENTIAL: 101 SF  
TOTAL PROPOSED FIRST FLOOR: 3411 SF  
PROPOSED SECOND FLOOR RES. UNIT A: 1228 SF  
PROPOSED SECOND FLOOR RES. UNIT B: 970 SF  
PROPOSED SECOND FLOOR RES. SHARED: 107 SF  
TOTAL PROPOSED SECOND FLOOR: 2305 SF  
TOTAL PROPOSED HEATED/COOLED: 4714 SF  
\*MEASURED TO INTERIOR FACE OF WALLS  
PROPOSED UNHEATED FIRST FLOOR: 18 SF  
PROPOSED PORCHES SECOND FLOOR: 145 SF  
EXISTING LOT COVERAGE: 2632 SF (72%)  
\*MEASURED TO EXTERIOR FACE OF WALLS INCLUDING  
FIRE ESCAPE STAIR  
PROPOSED LOT COVERAGE: 2632 SF (70%)

## 3. TOPOGRAPHICAL INFORMATION TAKEN FROM SURVEY DATED OCTOBER 8, 2015, BY KNIGHT SURVEYING & MAPPING LLC, PO BOX 13865, CHARLESTON SC 29422, 843.789.0850.

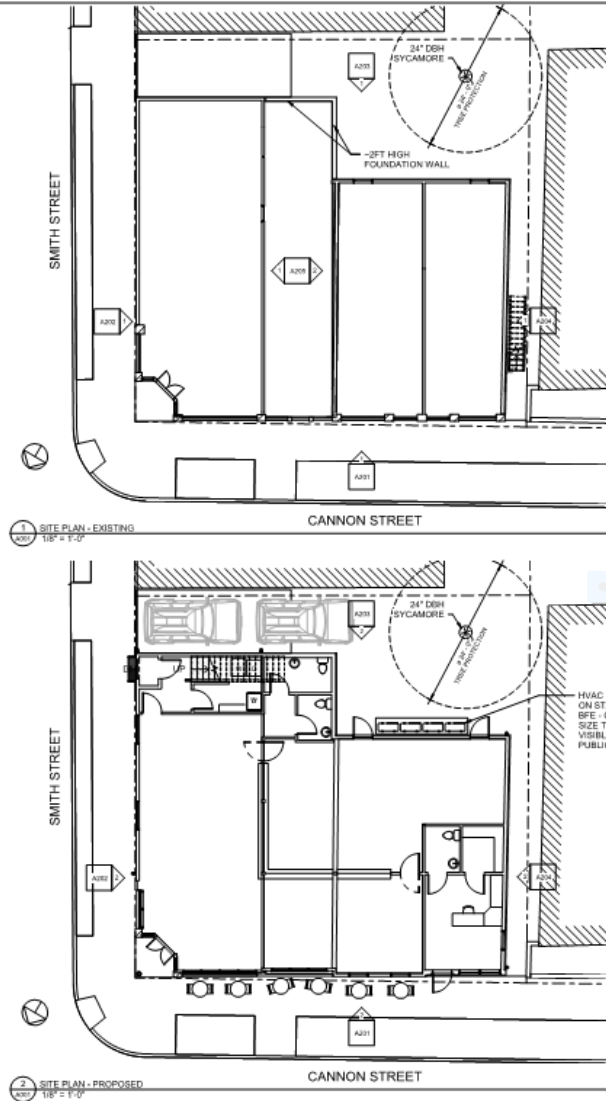
## 4. SETBACKS (BASED ON THE CITY OF CHARLESTON ORDINANCE FOR LB NON-RESIDENTIAL)

FRONT/STREET SETBACK: NR  
SOUTH / WEST SIDE SETBACK: NR  
NORTH / EAST SIDE SETBACK: NR  
TOTAL SIDE SETBACKS: NR  
REAR SETBACK: NR  
MAX HEIGHT: 55 FT  
MAX BLDG COVERAGE: NA  
MIN. LOT SIZE PER FAMILY: 3000SF

## 5. CODE: INTERNATIONAL RESIDENTIAL CODE 2015

## SITE NOTES

1. TREE PROTECTION REQUIREMENTS OF THE  
CITY OF CHARLESTON ZONING ORDINANCE  
SEC. 54-330 SHALL BE FOLLOWED:  
A. PROTECTIVE BARRICADES SHALL BE  
PLACED AROUND ALL PROTECTED TREES  
AND GRAND TREES PRIOR TO THE START  
OF CONSTRUCTION. THIS AREA SHALL  
REMAIN FREE FROM ALL BUILDING  
MATERIALS, DIRT OR OTHER  
CONSTRUCTION DEBRIS, VEHICLES, AND  
DEVELOPMENT ACTIVITIES.  
B. FOR PROTECTED TREES 2" OR LESS  
DBH BARRICADES SHALL BE PLACED A  
MIN. DISTANCE OF 10 FEET FROM THE  
BASE OF EACH PROTECTED TREE.  
C. FOR PROTECTED TREES GREATER THAN  
2" DBH AND GRAND TREES, BARRICADES  
SHALL PROVIDE A DIAMETER OF  
PROTECTION AROUND THE TREE EQUAL  
IN FEET TO THE DIAMETER AT BREAST  
HEIGHT OF THE TREE (I.E. A 24"  
DIAMETER TREE WILL REQUIRE A 24-  
FOOT DIAMETER PROTECTIVE  
BARRICADE).  
2. NEW GRADING SHALL NOT DIRECT ANY  
DRAINAGE TO A NEIGHBOR'S PROPERTY.



OWNER  
WILLIAM H. ORANGE  
LOWCOUNTRY MARKETING GROUP LLC  
PO BOX 157  
MT. PLEASANT SC 29485  
843.660.9990

ARCHITECT  
LAURA ALTMAN  
LFA ARCHITECTURE  
PO BOX 31225  
CHARLESTON SC 29417  
843.901.8485

STRUCTURAL ENGINEER  
TBD

CONTRACTOR  
MARK REGALBUTO  
RENEW URBAN CHARLESTON  
325 KING STREET  
CHARLESTON SC 29403  
843.345.6168

## DRAWING LIST

NO.	DRAWING NAME
A001	PROJECT INFO & SITE PLAN
D101	FIRST FLOOR - EXISTING & DEMO
D102	SECOND FLOOR - EXISTING & DEMO
D103	ROOF PLAN - EXISTING & DEMO
A101	FIRST FLOOR PLAN - PROPOSED
A102	SECOND FLOOR - PROPOSED
A103	ROOF PLAN - PROPOSED
A200	EXTERIOR PERSPECTIVES
A201	ELEVATIONS - CANNON STREET
A202	ELEVATIONS - SMITH STREET
A203	ELEVATIONS - SOUTH (REAR)
A204	ELEVATIONS - WEST
A205	ELEVATION / SECTION
A251	BUILDING SECTIONS - PROPOSED
A301	WALL SECTIONS - 81 CANNON
A302	WALL SECTIONS - HYPHEN
A303	WALL SECTIONS - 83 CANNON
A401	FIRST FLOOR - LIGHTING
A402	SECOND FLOOR - LIGHTING

## REVISIONS

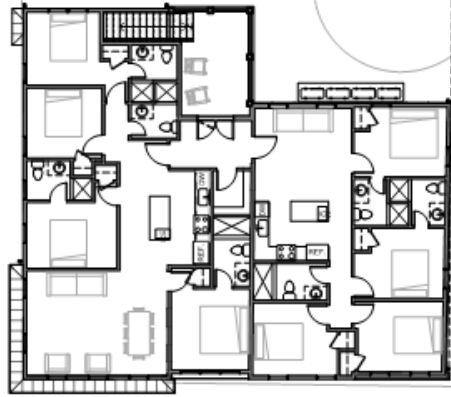
SMITH & CANNON  
81-83 CANNON STREET

**LFA** LFA Architecture  
PO Box 31225  
Charleston SC 29417  
843.901.8485  
www.lfa-architecture.com

PROJ. NO. 1906  
DRAWN BY: LFA  
ISSUE DATE: MARCH 5, 2020  
PROJ. STATUS: B2A-2

PROJECT INFO & SITE  
PLAN A001

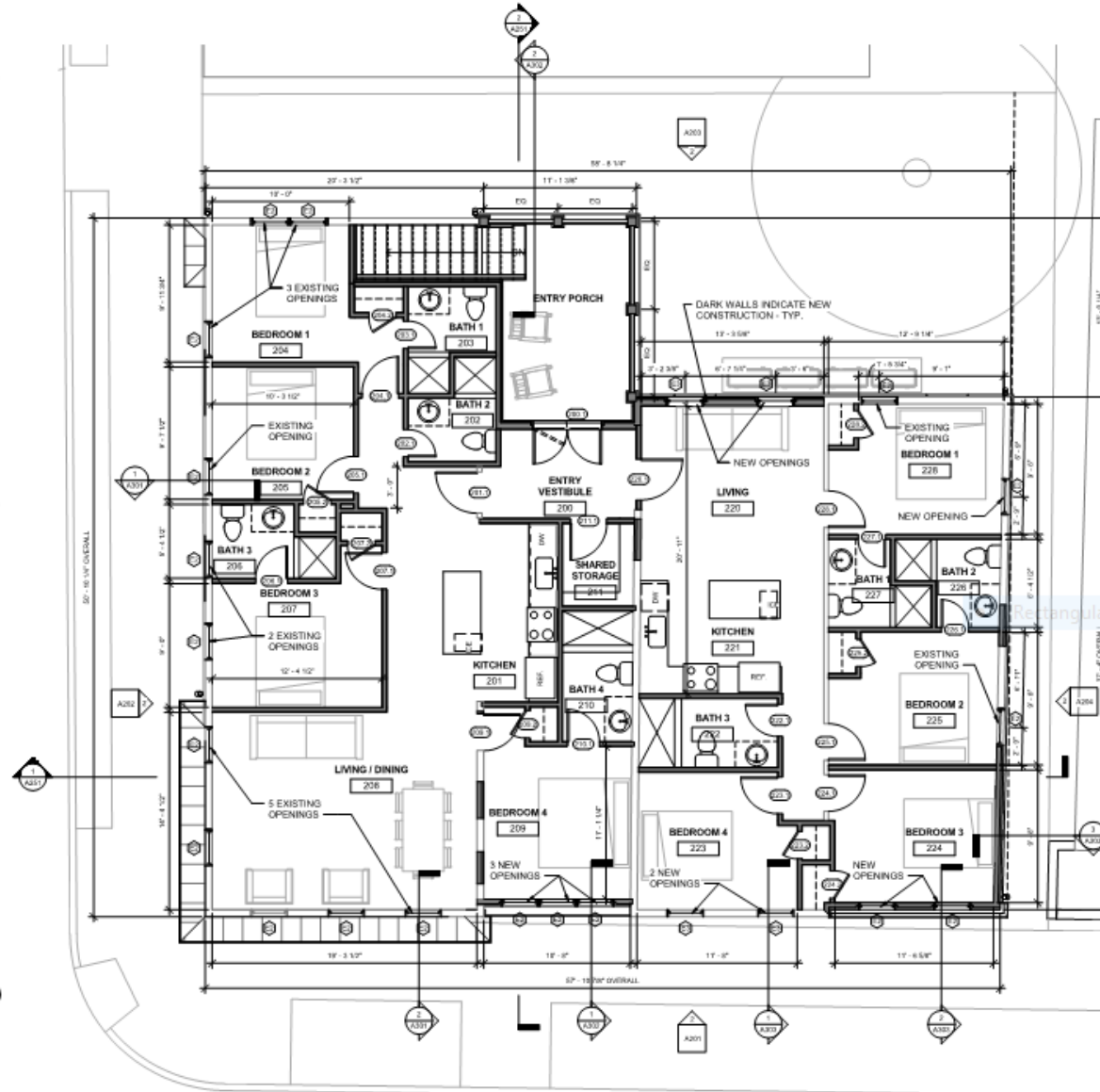




**UNIT A (ORANGE)**  
1228 SF  
4 BEDROOMS  
4 BATHS

**UNIT B (BLUE)**  
970 SF  
4 BEDROOMS  
3 BATHS

2 SECOND FLOOR - PROPOSED UNITS  
1/8" = 1'-0"



1 SECOND FLOOR - PROPOSED  
1/4" = 1'-0"

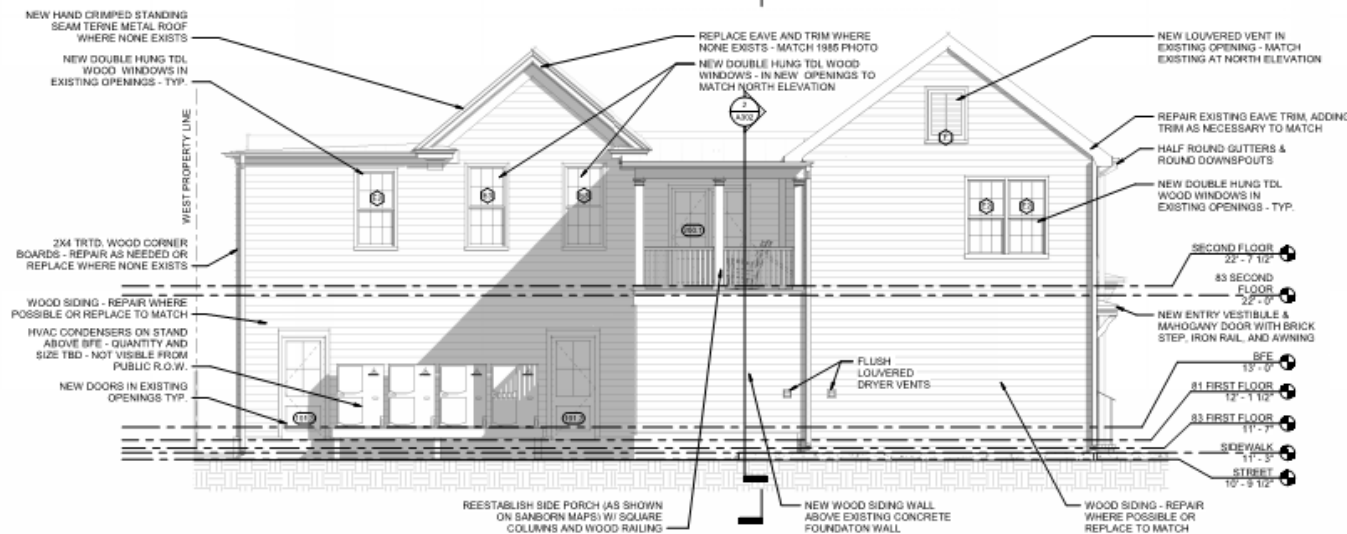
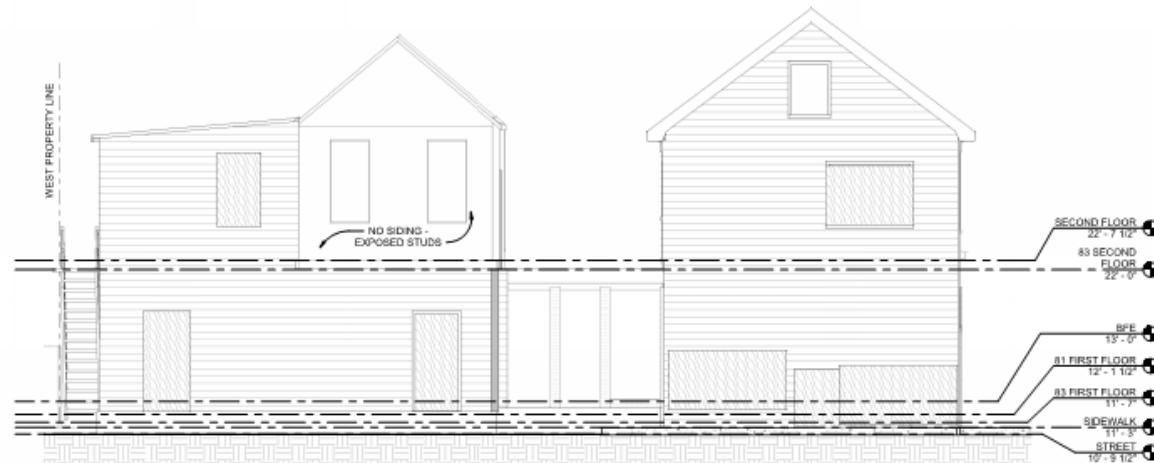






3/15/2020 2:19:52 PM C:\Users\Altran\Dropbox\LEA projects\1906\_Drawings\1906\_Smith Carbon\_Renovation\_BAR.mxd

1 SOUTH (REAR) ELEVATION - EXISTING  
A/E: 1/4" = 1'-0"



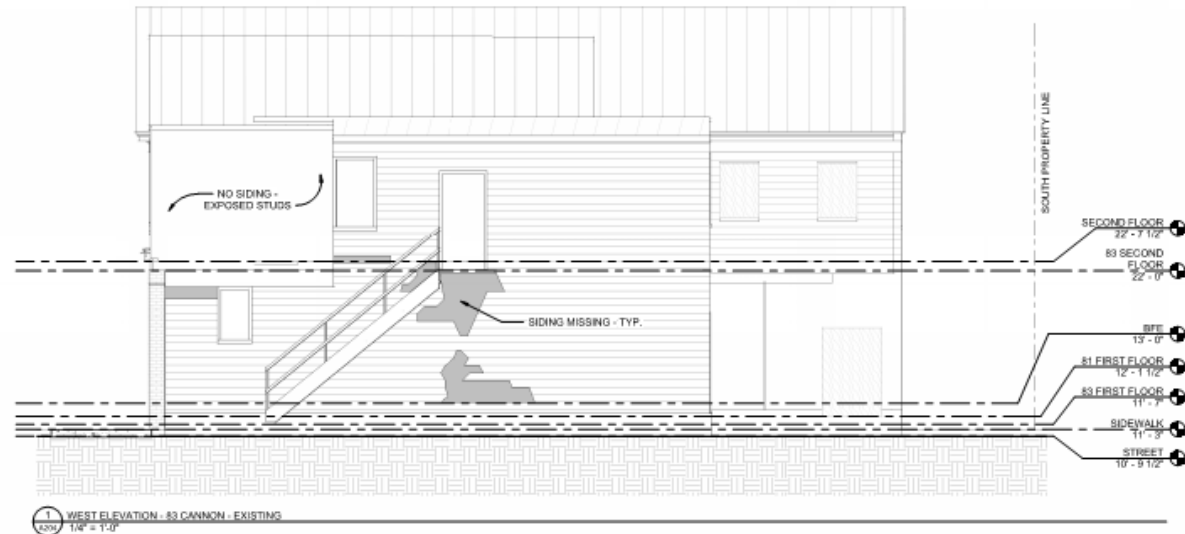
2 SOUTH (REAR) ELEVATION - PROPOSED  
A/E: 1/4" = 1'-0"

# DOOR & WINDOW NOTES

1. WHERE POSSIBLE, EXISTING WINDOW JAMBS, TRIM, AND SASHES SHALL BE REPAIRED, MAINTAINING AS MUCH HISTORIC FABRIC AS POSSIBLE.
2. ALL NEW DOUBLE HUNG WINDOWS SHALL BE ALL WOOD, TRUE DIVIDED LIGHT, SINGLE GLAZED. NEW WINDOWS SHALL MATCH PROFILES OF THE EXISTING WINDOW REMAINING AT 81 CANNON, NORTH ELEVATION.
3. ALL NEW STOREFRONT WINDOWS TO BE CUSTOM MAHOGANY, PAINTED, WITH TRUE DIVIDED LIGHT, SINGLE GLAZED TRANSOMS. A. COLOR OF TRANSOM GLASS TBD.
4. AT NEW WALLS AND NEW WINDOW OPENINGS, FLASH ALL WINDOW AND DOOR OPENINGS WITH WATERPROOFING MEMBRANE. FLASH FULL THICKNESS OF WALL FRAMING AND EXTEND 12" MINIMUM ONTO FACE OF SHEATHING. ENTIRE PERIMETER OF OPENINGS. EXTEND MEMBRANE 2" UP INTERIOR FACE OF JAMB TO CREATE WATER TIGHT "TROUGH". SEAL ALL JOINTS AND SEAMS PRIOR TO INSTALLATION OF WINDOWS.
5. ALL WINDOW & DOOR OPENINGS SHALL HAVE COPPER PANS WITH END DAMS.
6. WINDOW UNITS SHALL BE FURNISHED WITH/OUT BRICK MOULD. REPAIR EXISTING TRIM OR INSTALL NEW TREATED WOOD TRIM TO MATCH EXISTING.
7. CONTRACTOR SHALL VERIFY EXACT SIZES ON THE SITE. SUBJECT TO APPROVAL. MINOR ADJUSTMENTS MAY BE MADE TO SUIT JOB CONDITIONS AND FABRICATOR'S STANDARDS.
8. WINDOWS & DOORS MUST BE FURNISHED WITH PLYWOOD HURRICANE PANELS OR OTHER APPROVED HURRICANE PROTECTION. HURRICANE PROTECTION MUST MEET INTERNATIONAL RESIDENTIAL CODE 2015.

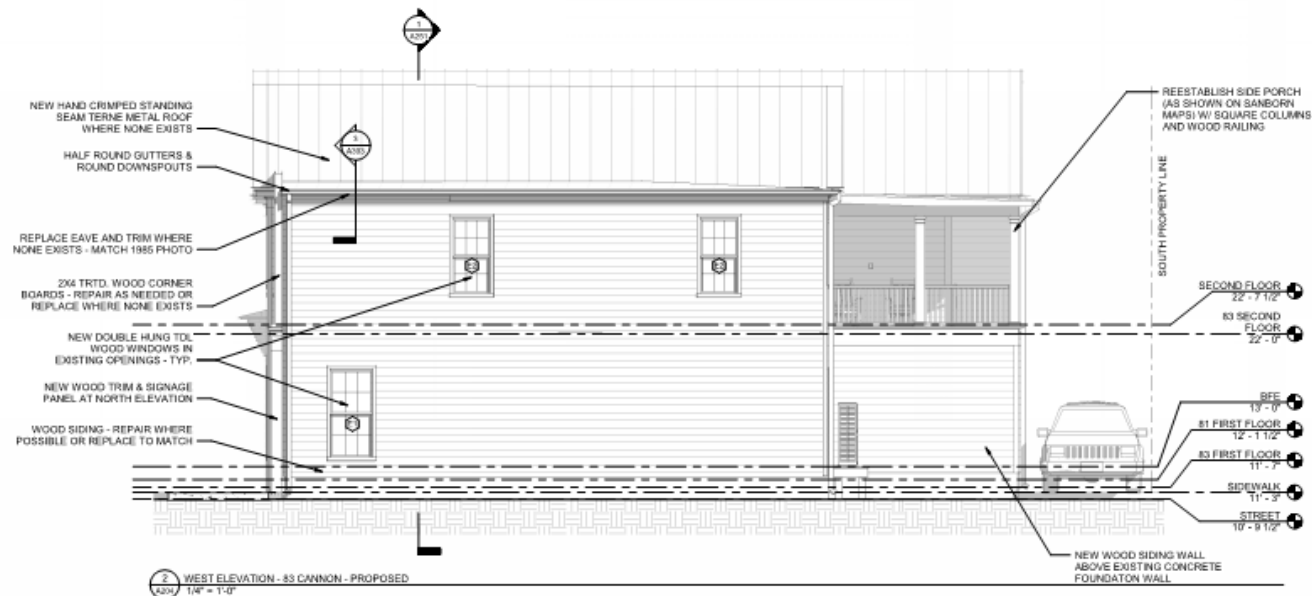
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C:\Users\jacob\Documents\1906\_01\_03 Cannon\1906\_01\_03 Cannon.dwg, 3/1/2020 2:15:54 PM



#### DOOR & WINDOW NOTES

- WHERE POSSIBLE, EXISTING WINDOW JAMBS, TRIM, AND SASHES SHALL BE REPAIRED, MAINTAINING AS MUCH HISTORIC FABRIC AS POSSIBLE.
- ALL NEW DOUBLE HUNG WINDOWS SHALL BE ALL WOOD, TRUE DIVIDED LIGHT, SINGLE GLAZED. NEW WINDOWS SHALL MATCH PROFILES OF THE EXISTING WINDOW REMAINING AT 81 CANNON, NORTH ELEVATION.
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- WINDOWS & DOORS MUST BE FURNISHED WITH PLYWOOD HURRICANE PANELS OR OTHER APPROVED HURRICANE PROTECTION. HURRICANE PROTECTION MUST MEET INTERNATIONAL RESIDENTIAL CODE 2015.



Rectangular



## Agenda Item #B-6

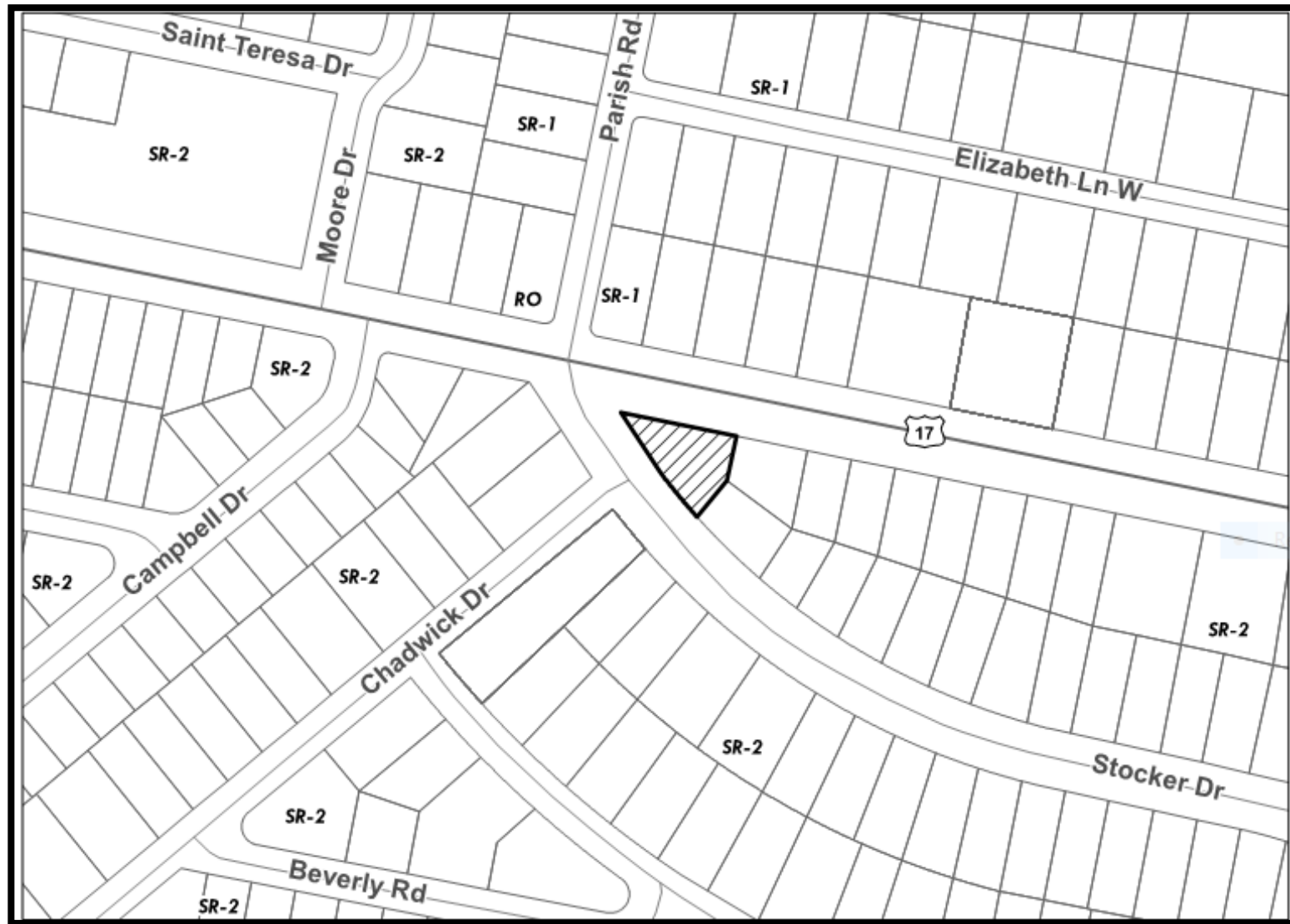
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571 SAVANNAH HIGHWAY  
(OLD WINDERMERE)

TMS # 421-06-00-129

Request variance from Sec. 54-412 to allow a free standing sign, monument sign with 22.5 square feet of sign face area per side and a total sign face area of 45 square feet (Ordinance limits sign face area to 12 and 24 square feet).

Zoned SR-2/SH Overlay





City of Charleston

**Instructions** – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

**THE APPLICANT HEREBY REQUESTS:**

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.  
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).  
☐ Extension of an unexpired Variance and/or Special Exception approval.

**MEETING DATE REQUESTED:** ASAP 4/9/20

**Property Address** 571 Savannah Hwy **TMS #** 421-06-00-129

**Property Owner** Edward L Phipps/Virtute Ques LLC **Daytime Phone** 843-216-9797

**Applicant** Phipps Law Firm, LLC **Daytime Phone** 843-216-9797

**Applicant's Mailing Address** 571 Savannah Hwy, Chas., SC, 29407  
**E-mail Address** edward@phippsfirm.com  
rachel@phippsfirm.com

**Relationship of applicant to owner (same, representative, prospective buyer, other)** same

**Zoning of property** Savannah Highway Overlay Zone

**Information required with application: (check information submitted)**

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)  
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans  
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)  
☐ Plans or documents necessary to show compliance with special exception requirements (3 sets)  
☐ Check, credit card or cash (make checks payable to the City of Charleston)  
☐ **YES or NO** - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

**Optional but very helpful information:**

- ☒ Photographs  
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

**Applicant** \_\_\_\_\_ **Date** 02-25-20

**For office use only**

**Date application received** 3/5/20  
**Staffperson** AM

**Fee \$** 400.00

**Time application received** 9 am  
**Receipt #** 911566

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

see Attached

See Attached  
(Attachment "A")

**Variance Test:** The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

**All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.**



**Attachment A to BZA-Z Application**  
**Phipps Law Firm, LLC**

This application is to respectfully request a variance for The Phipps Law Firm sign (*see attached Proposed Signage*) which is to be placed at 571 Savannah Highway located in the Savannah Highway Overlay Zone and Residential Office District.

Section 54-412 (a) of the Zoning Ordinance for Charleston states that signs located in this area shall be "a maximum of twelve (12) square feet in area per side". We are requesting a twenty-two and one half (22.5) square foot (6ft by 3.75ft) sign to be placed on our property. The other option for a sign was to utilize the previous placed and grandfathered in ten (10) foot pole sign. By not using the pole sign, the Firm is making an affirmative attempt to improve the aesthetics of the area, maintaining the standardized look and the character of the neighborhood, and use a sign that is similar to those used by the current business community.

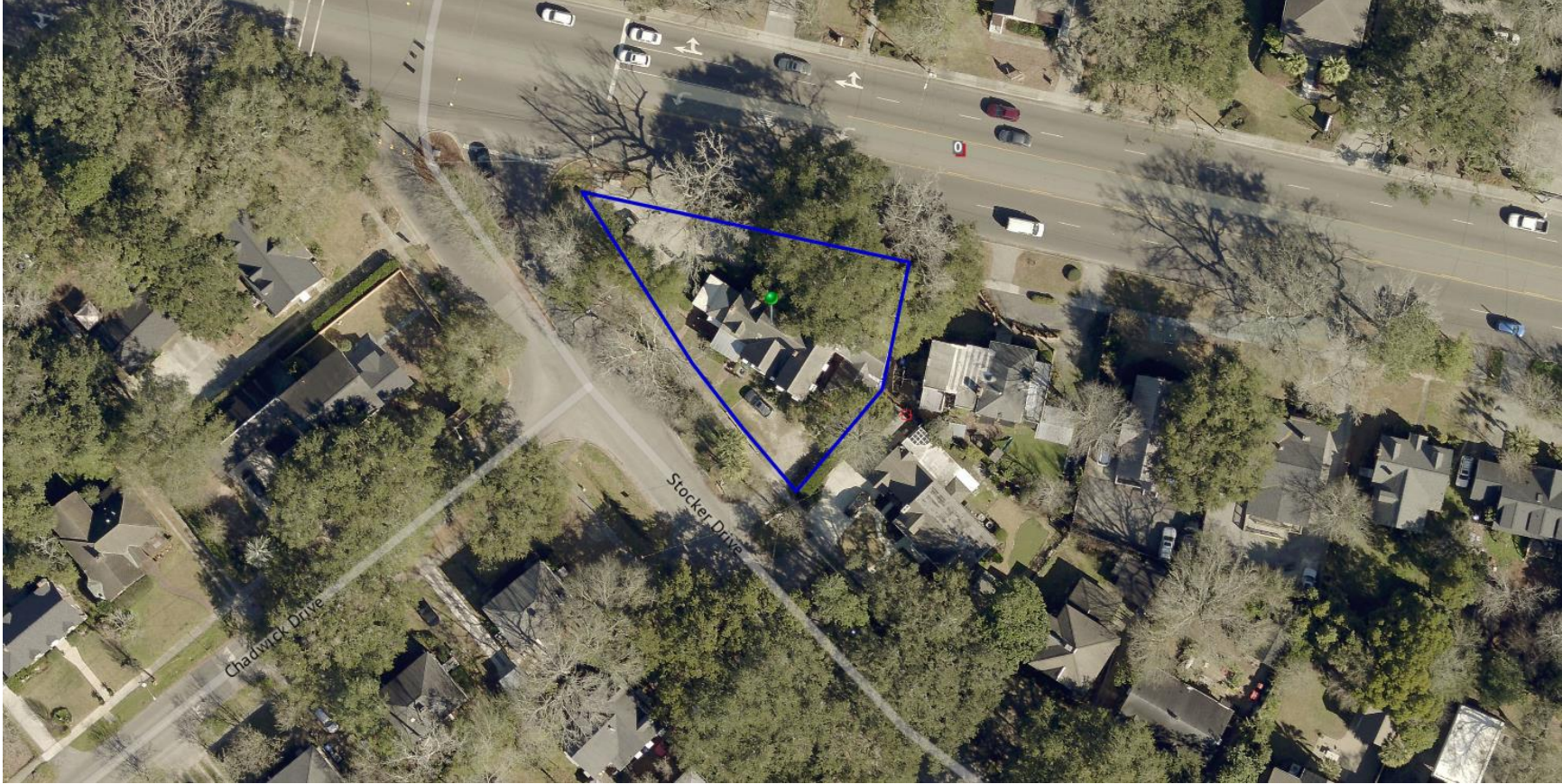
The test for granting a variance, as outlined in §54-924 of the Charleston Zoning Ordinance and in SC Code Ann. § 6-29-800, states that a variance may be granted by the Board of Zoning Appeals in an individual case of unnecessary hardship if the Board makes the following findings, which we believe our request satisfies:

- a. **There are extraordinary and exceptional conditions pertaining to the particular piece of property:**
  - 571 Savannah Highway is uniquely the only triangle shaped property in the Overlay. It is the only property that has two (2) addresses (571 Savannah Highway and 44 Stocker Drive) in the Overlay district in which a parking lot (without sidewalks) encompasses the entirety of the Highway 17 front business side of the building.
  - Lining the 571 Highway 17 side of our property, there are three (3) large Oak trees which have prevented sidewalks and greatly reduced visibility for any sign. In addition, there is a three to four foot (3-4 ft.) drop in elevation on our lot from Highway 17 to where the sign must be placed on the corner due to the easement.
- b. **These conditions do not generally apply to other property in vicinity:**
  - No other business has the same conditions. In addition to the above conditions specific to the property, there is a fifteen foot (15ft) easement beginning at the curb of the Highway, along our property line, making our sign placement significantly far from the road where as on the opposite side of the Highway signs are located just a mere few feet from the curb. Other properties in the overlay district are not subject to these limiting conditions.
- c. **Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property:**
  - Because of the triangular shape, parking lot in front, no sidewalk, large Oak trees, the front easement, and significant drop in elevation is unique to only this parcel and as such, without a slightly larger sign, utilization of the property is unnecessarily

and unreasonably restricted, and the property owner will be deprived of economically reasonable use.

- d. The authorization of a variance will not be of substantial detriment to adjacent property or to the public or to the public good, and the character of the district will not be harmed by granting the variance:
- The proposed sign meets the criteria related to compatibility with the area, such as adding "interest to the street level environment", helping pedestrians and motorists, and being integrated into the existing infrastructure.
  - More importantly, the proposed sign is identical to the adjacent sign across the intersection used for Torres Law Firm (e.g. 22+ft Torres Law Firm sign located at 604 Savannah Highway- photos attached). It is clear that the authorization of a variance will enhance the quaint professional character wanted for this Overlay while embracing the comprehensive plan of the area/neighborhood, and the character of the district will not be harmed by the granting of the variance.



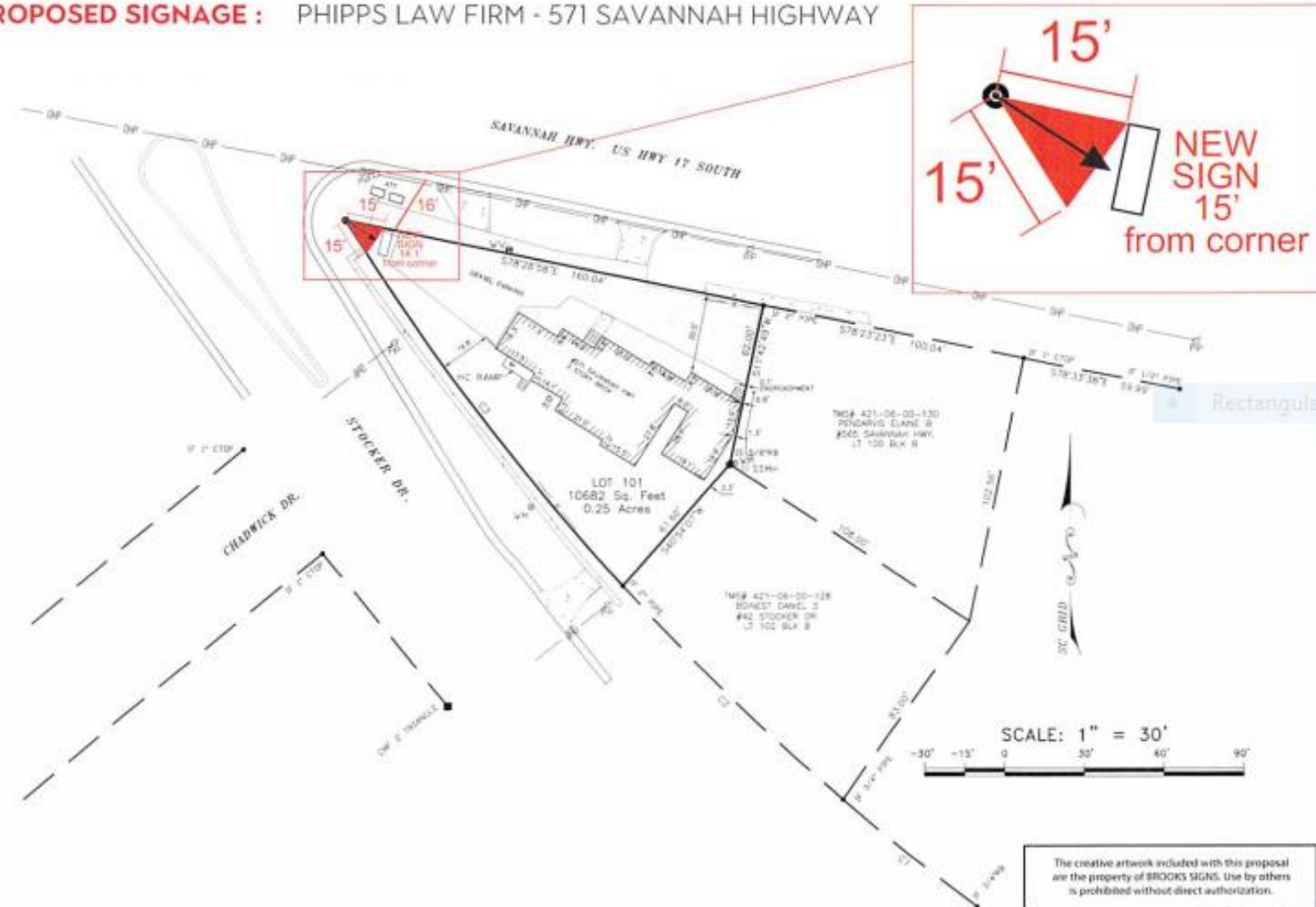








**ROPOSED SIGNAGE :** PHIPPS LAW FIRM - 571 SAVANNAH HIGHWAY



**ROPOSED SIGNAGE :** PHIPPS LAW FIRM - 571 SAVANNAH HIGHWAY

DOUBLE-SIDED 72" X 45" X 1/4" ACM SIGN WITH CUT VINYL GRAPHICS & (4) 34-5/16" X 7-7/8" X 1/4" ACM  
TENANT PANELS MOUNTED TO (2) 16" X 16" X 5' BRICK POSTS



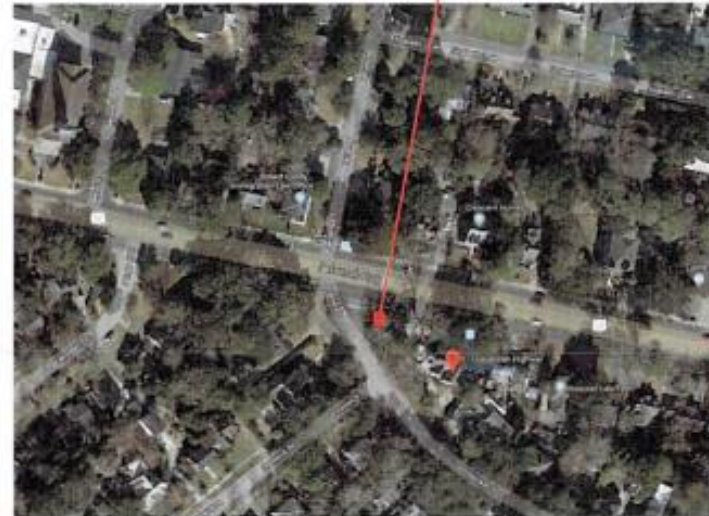
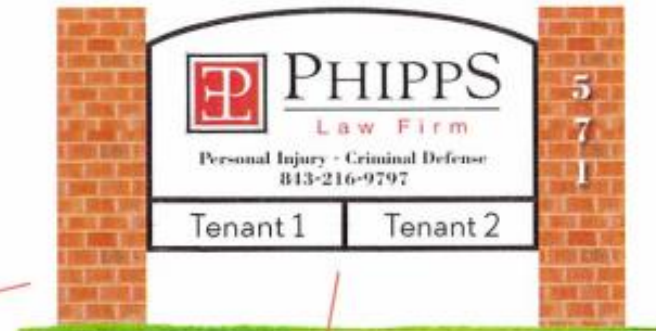
15 Ft from property line



16 FT from curb



**ROPOSED SIGNAGE :** PHIPPS LAW FIRM - 571 SAVANNAH HIGHWAY

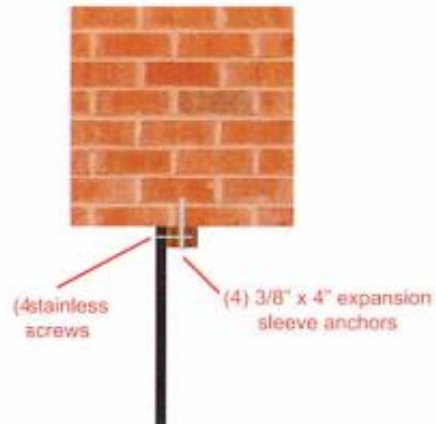


The creative artwork included with this proposal are the property of BROOKS SIGNS. Use by others is prohibited without direct authorization.

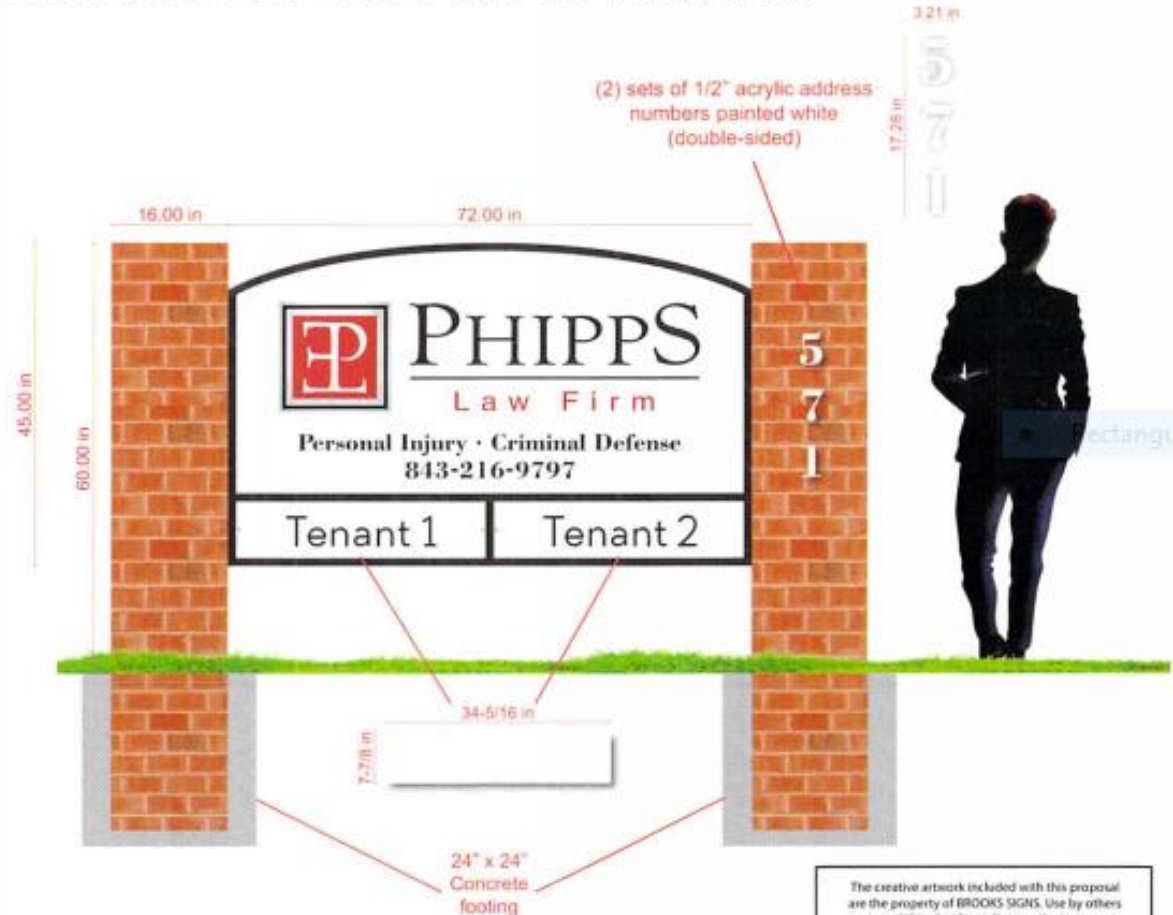
**ROPOSED SIGNAGE :** PHIPPS LAW FIRM - 571 SAVANNAH HIGHWAY

DOUBLE-SIDED 72" X 45" X 1/4" ACM SIGN WITH CUT VINYL GRAPHICS & (4) 34-5/16" X 7-7/8" X 1/4" ACM  
TENANT PANELS MOUNTED TO (2) 16" X 16" X 5' BRICK POSTS

**MOUNTING DETAIL**

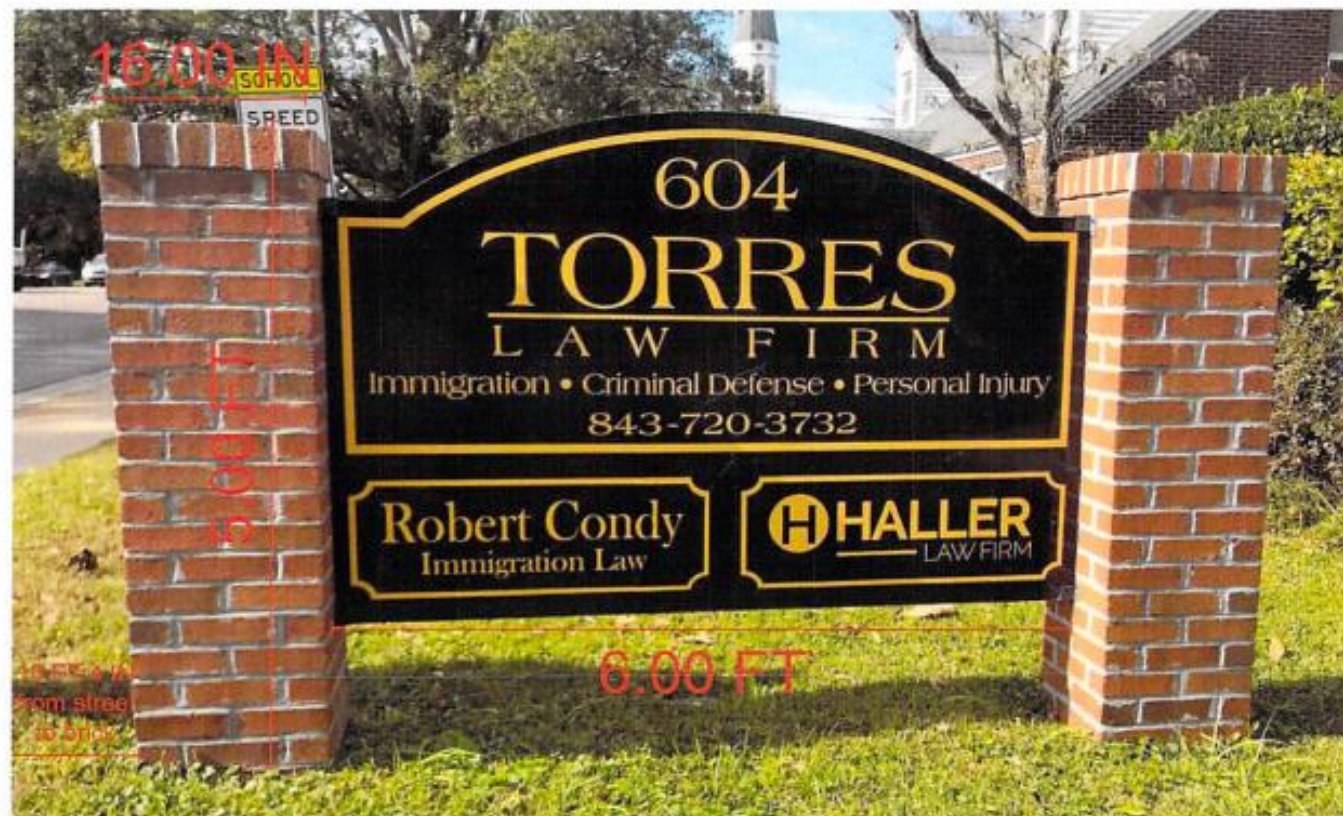


**ESTIMATED PROJECT TOTAL**  
**\$6500.00**





**ROPOSED SIGNAGE :** PHIPPS LAW FIRM - 571 SAVANNAH HIGHWAY



Rectangular

# Agenda Item #B-7

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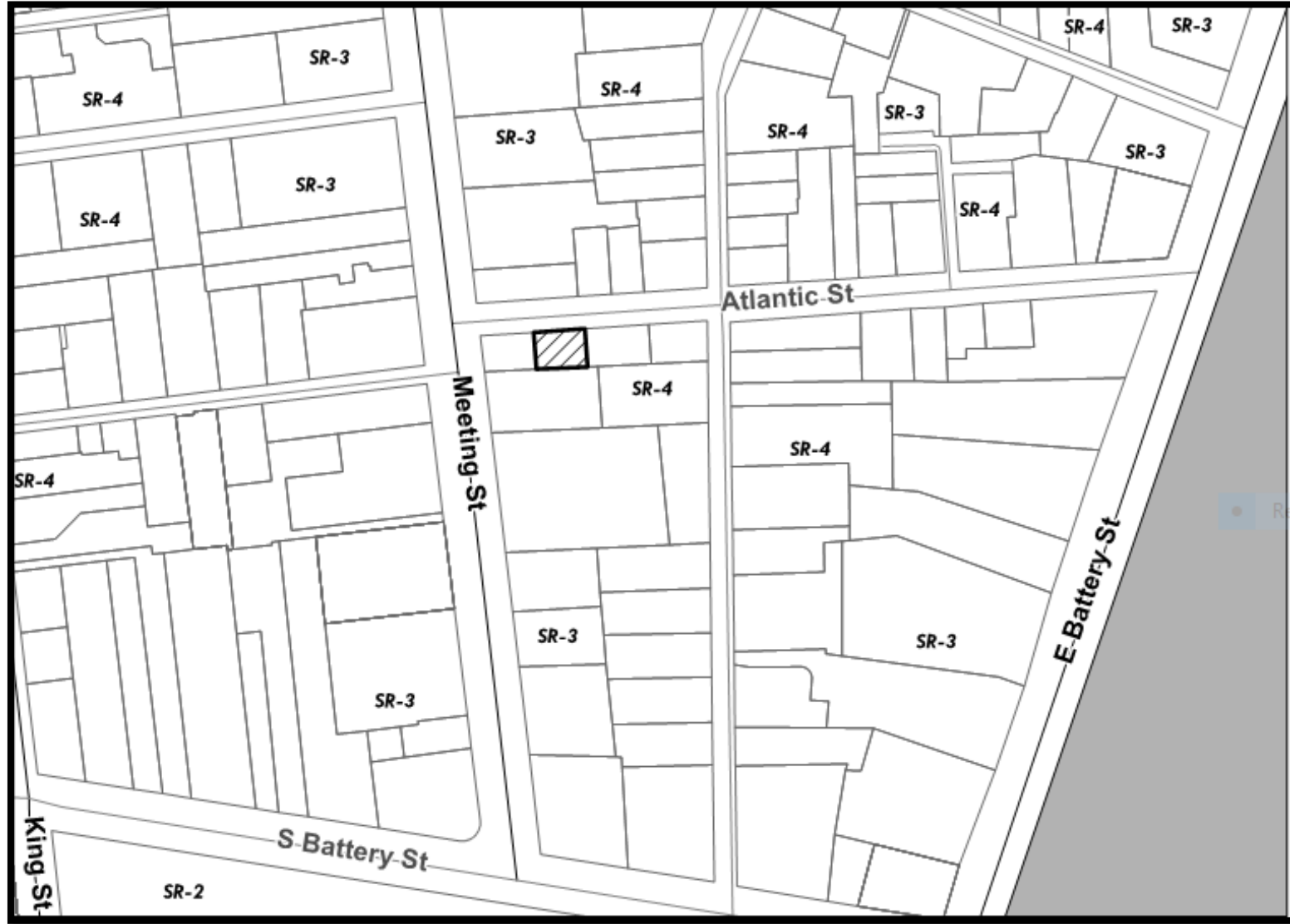
21 ATLANTIC STREET

(CHARLESTOWNE)

TMS # 457-16-04-031

Request variance from Sec. 54-301 to allow an addition (family room) with a 49% lot occupancy (35% Limitation; existing lot occupancy 45%).

Zoned SR-4





City of Charleston

**Instructions** – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

**THE APPLICANT HEREBY REQUESTS:**

- ☐ A Variance and/or Special Exception as indicated on page 2 of this application.
- ☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
- ☐ Extension of an unexpired Variance and/or Special Exception approval.

**MEETING DATE REQUESTED:** April 7, 2020

Property Address: 21 Atlantic Street, Charleston, South Carolina 29491 TMS #: 457-16-04-031

Property Owner: Atlantic Street Properties, LLC Daytime Phone: (843) 722-3300

Applicant: Edward K. Pritchard, III, Esq. Daytime Phone (843) 722-3300

Applicant's Mailing Address: Post Office Box 630, Charleston, South Carolina 29402-0630

E-mail Address: epritchard@pritchardlawgroup.com Relationship of applicant to owner (same, representative,

prospective buyer, other): attorney Zoning of property: SR-4

**Information required with application: (check information submitted)**

- ☐ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)
- ☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans
- ☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)
- ☐ Plans or documents necessary to show compliance with special exception requirements (3 sets)
- ☐ Check, credit card or cash (make checks payable to the City of Charleston)
- ☐ YES or ☐ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☐ Photographs
- ☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Ed K Pritchard III Date March 7, 2020

For office use only		
Date application received	<u>3/9/20</u>	Time application received <u>11:30</u>
Staffperson	<u>Fee \$ 150.00</u>	Receipt # <u>971574</u>



For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

See attached.

**Variance Test:** The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

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**All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.**

**ATTACHMENT TO 21 ATLANTIC/WATSON ZONING**  
**VARIANCE APPLICATION**

Applicant seeks a variance from Section 54-301 to allow a percentage of lot area occupancy of forty-eight and six-hundred forty-one percent (48.641%). Section 54-301 permits a maximum of thirty-five percent (35%) of lot area coverage.

- a. **there are extraordinary and exceptional conditions pertaining to the particular piece of property:**

The lot subject to this variance request, along with the lot whose address in the current City of Charleston Numbering System is 20 Meeting Street, was created in 1966 prior to the adoption of the current City of Charleston zoning ordinance. At approximately 2265.2 square feet, is approximately 1,734.8 square feet smaller than the square footage of a lot required in an SR-4 zoning district. The extraordinary and exceptional condition pertaining to the particular piece of property to which this variance request is subject is its relatively small size when compared to the other lots in the neighborhood generally and the fact that it is 43.37% smaller than the minimum lot size required of a lot in a SR-4 zoning district.

- b. **these conditions do not generally apply to other property in the vicinity;**

The lot subject to this variance request, like its twin at 20 Meeting Street, is significantly smaller than the surrounding properties in the neighborhood. Other than its twin at 20 Meeting Street, the surrounding properties as well as the properties in the neighborhood generally all meet or exceed the minimum lot size required of lots in a SR-4 zoning district. Thus, other than its twin at 20 Meeting Street, the condition in question – the inferior lot size - does not generally apply to other property in the vicinity

- c. **because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and,**

A lot located in an SR-4 zoning district which meets the minimum requirements of the City of Charleston Zoning Ordinance of 4,000 square feet is permitted to have lot area coverage of up to 1,400 square feet. Because of its size, the lot subject to this variance request, is only permitted to have a to have lot area coverage of up to 792.82 square feet. The structure currently located on the lot subject to this variance request has a lot area coverage of 1,010 square feet which is a lot area coverage of 44.588%. The proposed addition would increase the lot area coverage by approximately 92 square feet to 1,102 square feet, which would result in a lot area coverage of 48.641%. Restricting the square footage of the structure of to 72.143% of the square footage permitted by a structure located on a lot which meets the minimum square footage requirements of a lot located in an SR-4 zoning district through application of Section 54-301 unreasonably restricts the utilization of the property.

- d. **the authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.**

There is currently an elevated deck located where the proposed addition is to be constructed. Therefore, even though the addition technically expands the structure's lot area coverage, pragmatically it does not as a portion of the structure already covers the area where the addition will be built. If the variance is approved, the structure will not encroach in the buffer zone as the proposed addition remains within the building envelope required by Section 54-301 in an SR-4 zoning district. Section 54-301. If the addition is permitted, the structure located on the property will still be substantially smaller than the surrounding structures. Further, the proposed addition is not visible from any public right of way. Thus, the proposed addition will not be of substantial detriment to adjacent property or to the public good as it will not encroach in the buffer zone or impact any of the surrounding properties and the character of the district will not be harmed by the granting of the variance since the addition will not be visible from a public right of way and will not in any way be noticeable.

• Rectan











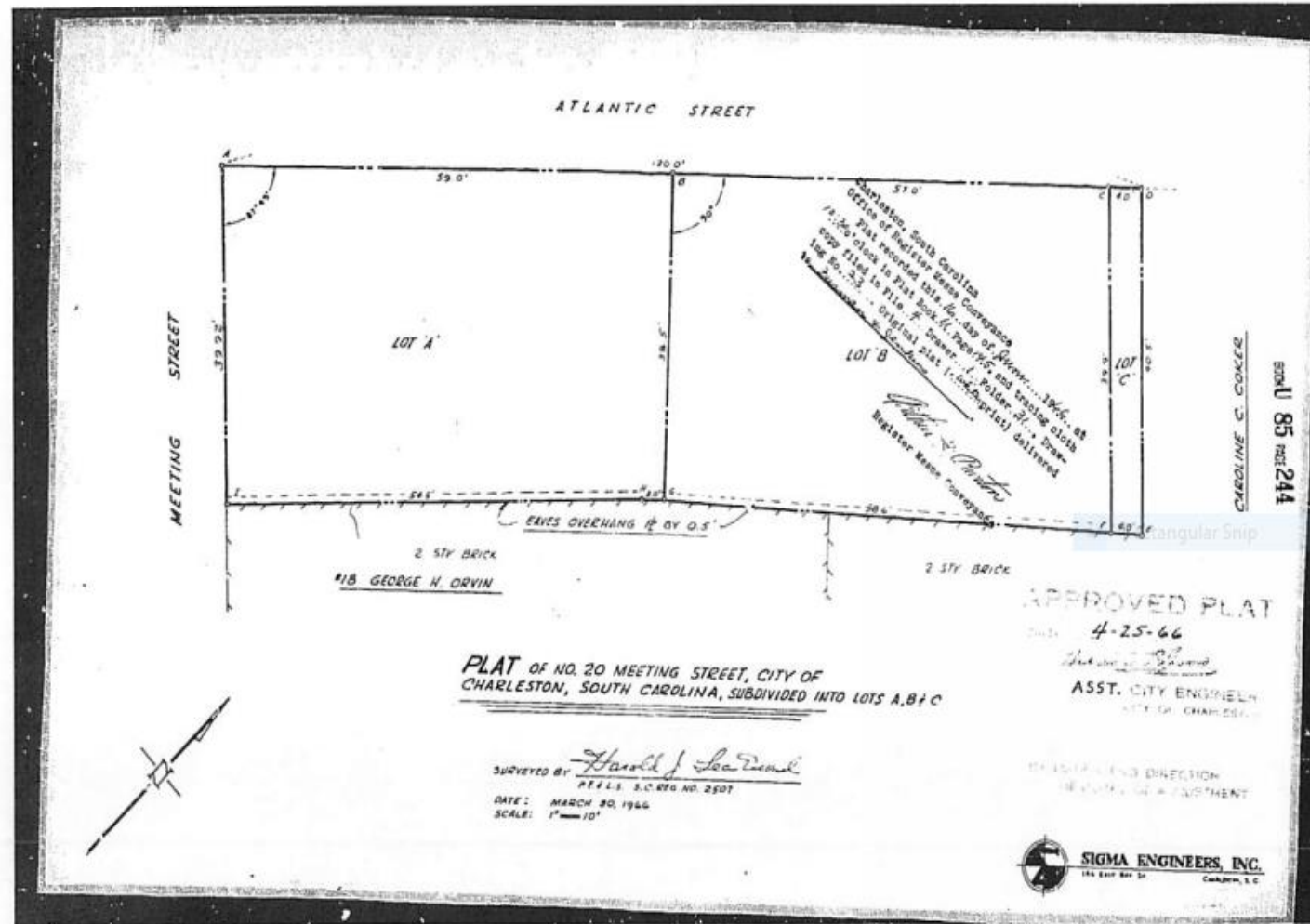


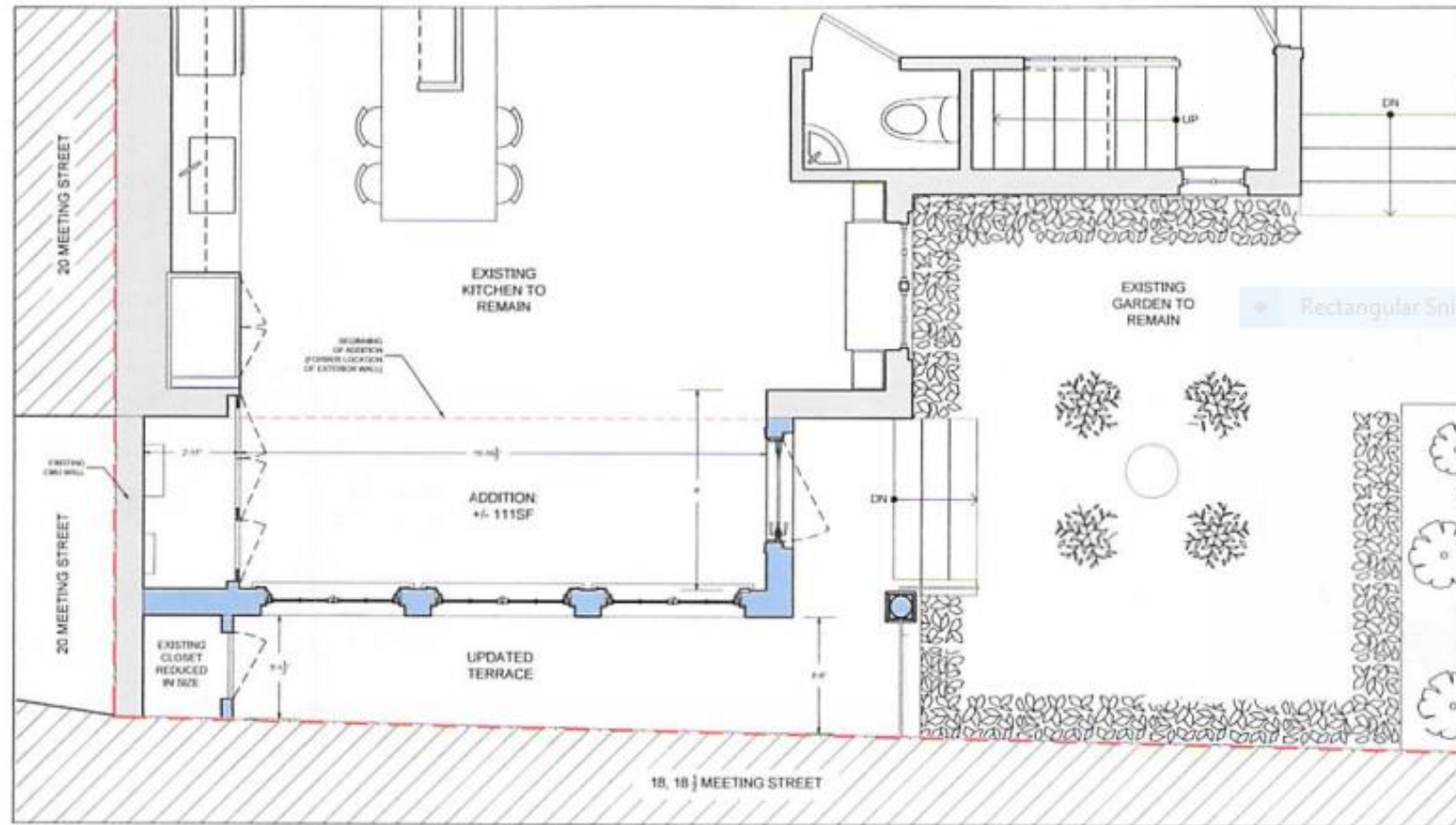






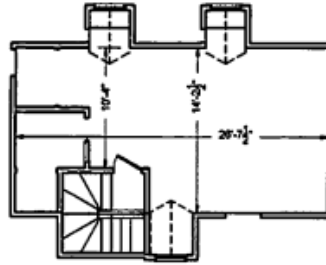






01 21 ATLANTIC PROPOSAL - GROUND FL PLAN

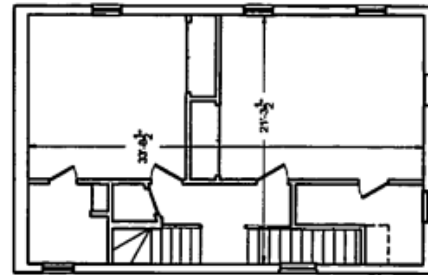
NEW  
EXISTING  
NEIGHBOR  
PROPERTY LINE



03 EXISTING THIRD FLOOR  
SCALE: 1/8" = 1'-0"

AREA = ~400 SF

STAIR = ~39 SF

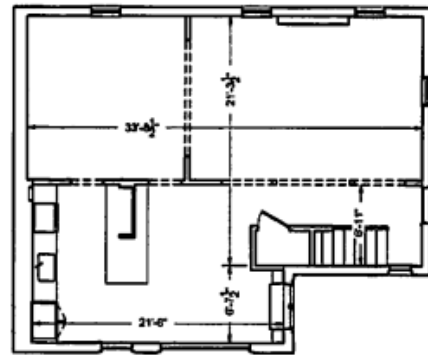


02 EXISTING SECOND FLOOR  
SCALE: 1/8" = 1'-0"

AREA = ~666 SF

Rectangular Snip

STAIR = ~37 SF



01 EXISTING FIRST FLOOR  
SCALE: 1/8" = 1'-0"

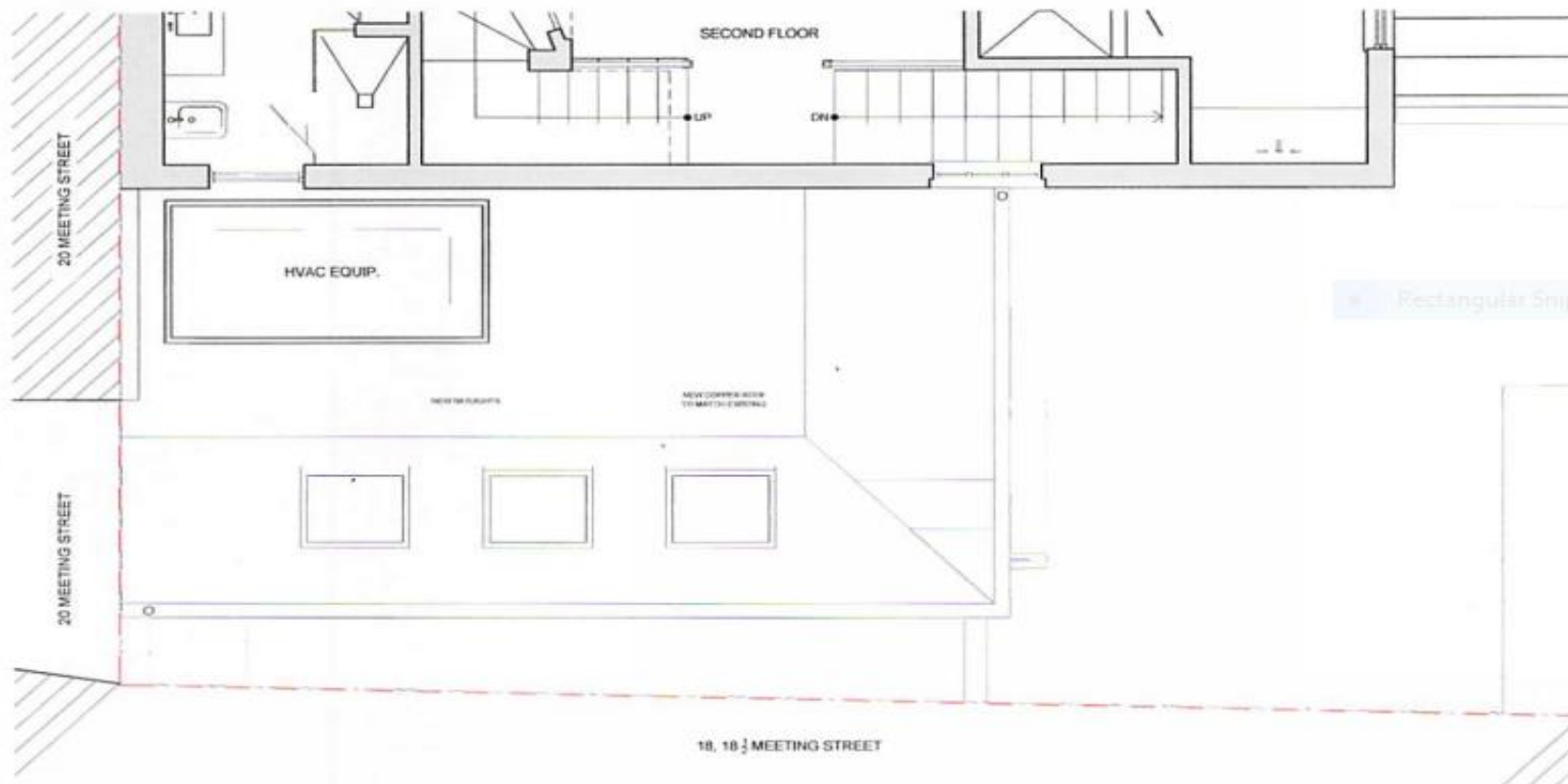
AREA = ~837 SF

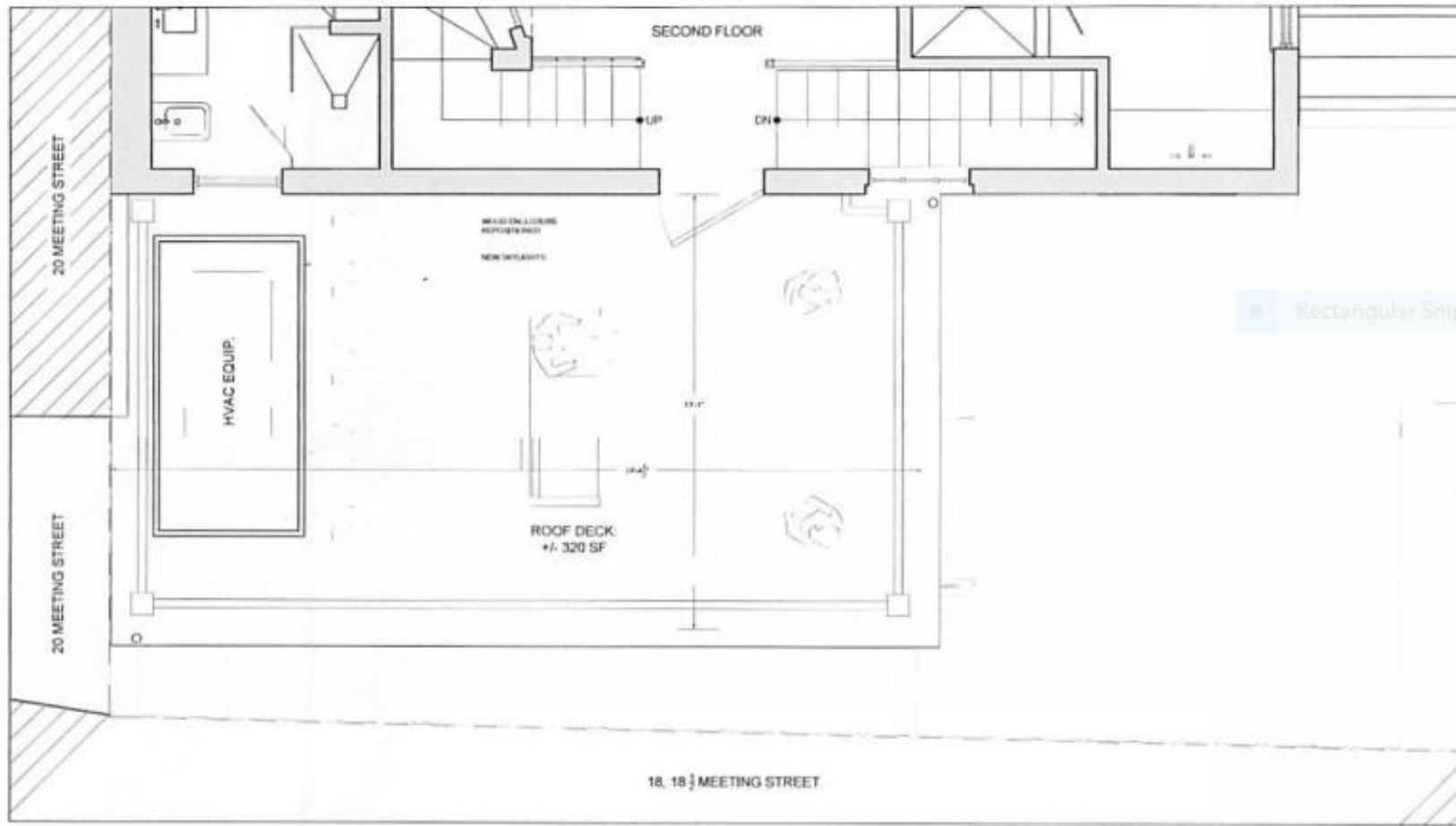
TOTAL = ~1979 SF











01 21 ATLANTIC PROPOSAL - ROOF DECK PLAN  
SCALE: 1/8" = 1'-0"



EXISTING NEIGHBOR  
PROPERTY LINE



## **Agenda Item #B-8**

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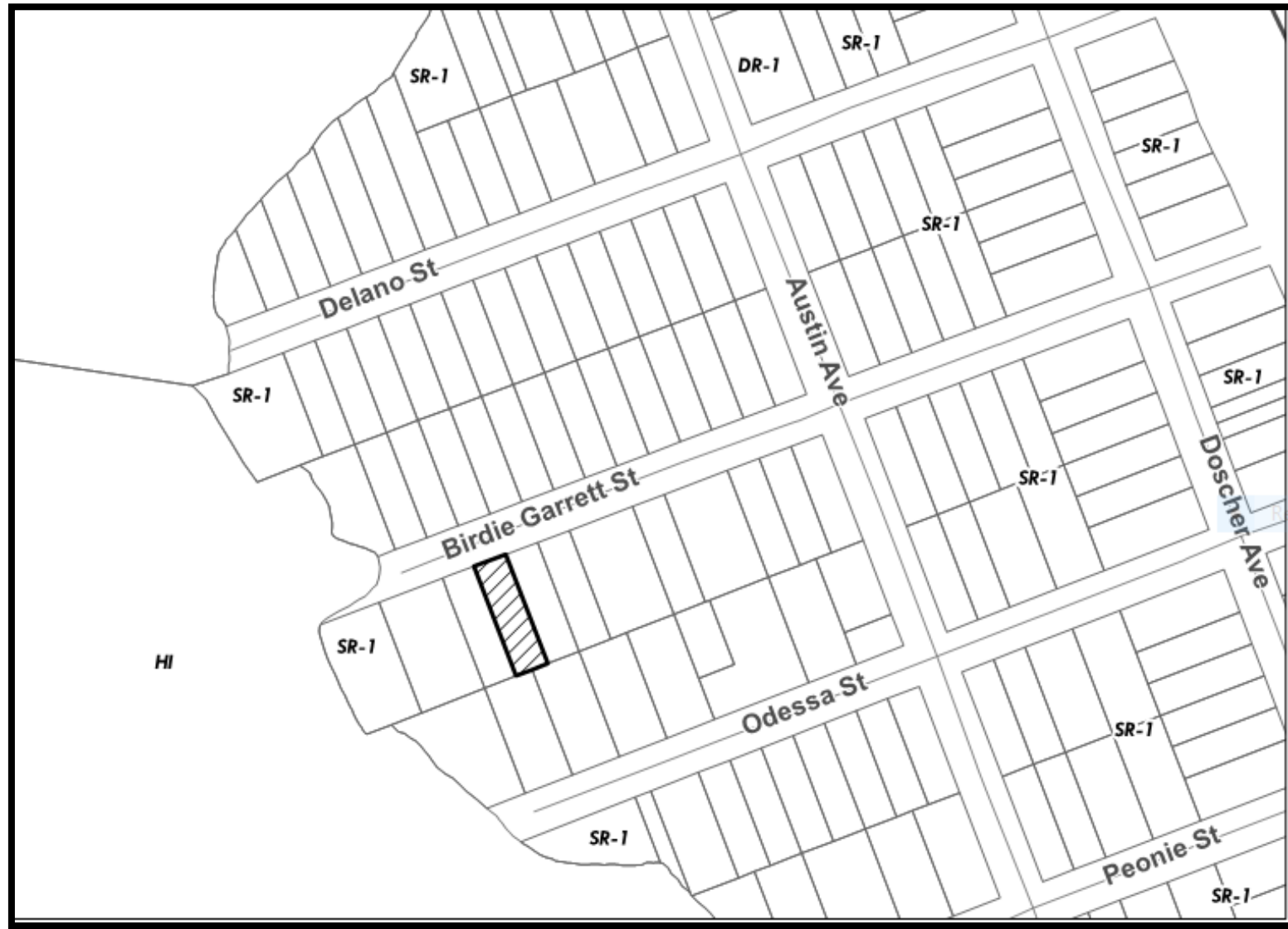
**2321 BIRDIE GARRETT STREET  
(ROSEMONT)**

**TMS # 464-01-00-109**

Request special exception under Sec. 54-501 to allow a single-family residence on a lot of insufficient size (Lot area 3,000sf; 9,000sf required).

Request variance from Sec. 54-301 to allow a single-family residence with a 5-ft. east side setback 16.51-FT. total side setback (9-ft. and 18-ft. required).

Zoned SR-1





Application for Variance, Special Exception, Reconsideration, or Extension to the Board of Zoning Appeals – Zoning (BZA-Z) Page 1 of 2

City of Charleston

**Instructions** – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

**THE APPLICANT HEREBY REQUESTS:**

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.  
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).  
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: April 7, 2020

Property Address 2321 Birdie Garrett Street, Charleston SC 29405 TMS # 4640100109

Property Owner Charleston Redevelopment Corporation Daytime Phone 803-665-5562

Applicant Jillian Ready, PLA with Johnson, Laschober & Associates Daytime Phone 706-724-5756

Applicant's Mailing Address 701 East Bay Street, Suite 304, Charleston SC 29403

E-mail Address jready@thcjlgroup.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Representative

Zoning of property SR-1

**Information required with application: (check information submitted)**

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)  
☒ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans  
☒ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)  
☒ Plans or documents necessary to show compliance with special exception requirements (3 sets)  
☒ Check, credit card or cash (make checks payable to the City of Charleston)  
☐ YES or ☒ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

**Optional but very helpful information:**

- ☒ Photographs  
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Jillian Ready Date 3-10-2020

For office use only

Date application received 3/9/20

Staffperson AA

Fee \$ 0

Time application received 12:40pm

Receipt #

Affordable Housing

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

Side setback variance request: A side setback is requested due to exceptional conditions that exist on the  
property. With current setback limitations, the house would be restricted to a maximum of 12' wide.

Front setback variance request: A front setback is requested in order to match the adjacent house. The  
current setback requirement is 25'; however, the adjacent house is set 13' from the property line.

**Variance Test:** The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. [SC Code of Laws § 6-29-800]

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

Sec. 54-501 - Lot of record of insufficient size:

A special exception is requested in order to develop the residential lot in question. JLA believes the lot size is  
currently sufficient to provide the required programming for the site.

**All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.**



**MEMO**

**Memo No:** MEM001

**Date:** 3/10/2020

**To:** Charleston Board of Zoning Appeals

**Job #:** 5902.2004

**From:** JILLIAN READY

**Subject:** 2321 Birdie Garrett Street Single Family Residential Development

To whom it may concern,

JLA is working with the Charleston Redevelopment Corporation (CRC) to develop a vacant lot, located at 2321 Birdie Garrett Street, into a single-family residence.

The variance we are pursuing through this BZA application would address the present side setback requirements. Currently there are 9' side setbacks for a total of 18'. With these constraints, the house is restricted to having a 12' wide house, which we believe to be an unreasonable restriction because the existing width of the lot is 30'. It is noted that the adjacent building is set only 1.5' off of the property line. JLA is requesting that the side setbacks be reduced to a total of 15' in order to fit the proposed building footprint (see attached architecture drawings).

The second variance, JLA would like to pursue is to match the front setback of the adjacent house located at 2323 Birdie Garrett Street. In order to keep with the street and neighborhood fabric, JLA will align the front porch to the adjacent front porch so as to provide a sense of visual unity within the neighborhood.

Lastly, JLA is requesting a special exception for insufficient lot size. The lot is currently 3,000 sf. JLA believes the lot size to be sufficient to provide the required programming for the site.

Thank you for considering these requests. If you need any additional information, please feel free to contact me directly.

Sincerely,



Jillian Ready, PLA  
Johnson Laschober & Associates  
706-724-5756  
jready@thejlagroup.com









JOHNSON, LASCHOB  
& ASSOCIATES, P.C.  
ARCHITECTS • ENGINEERS  
LANDSCAPE ARCHITECTS  
1296 BROAD ST., AUGUSTA, GEORGIA 30908  
PHONE: (706) 724-5756 FAX: (706) 724-3955

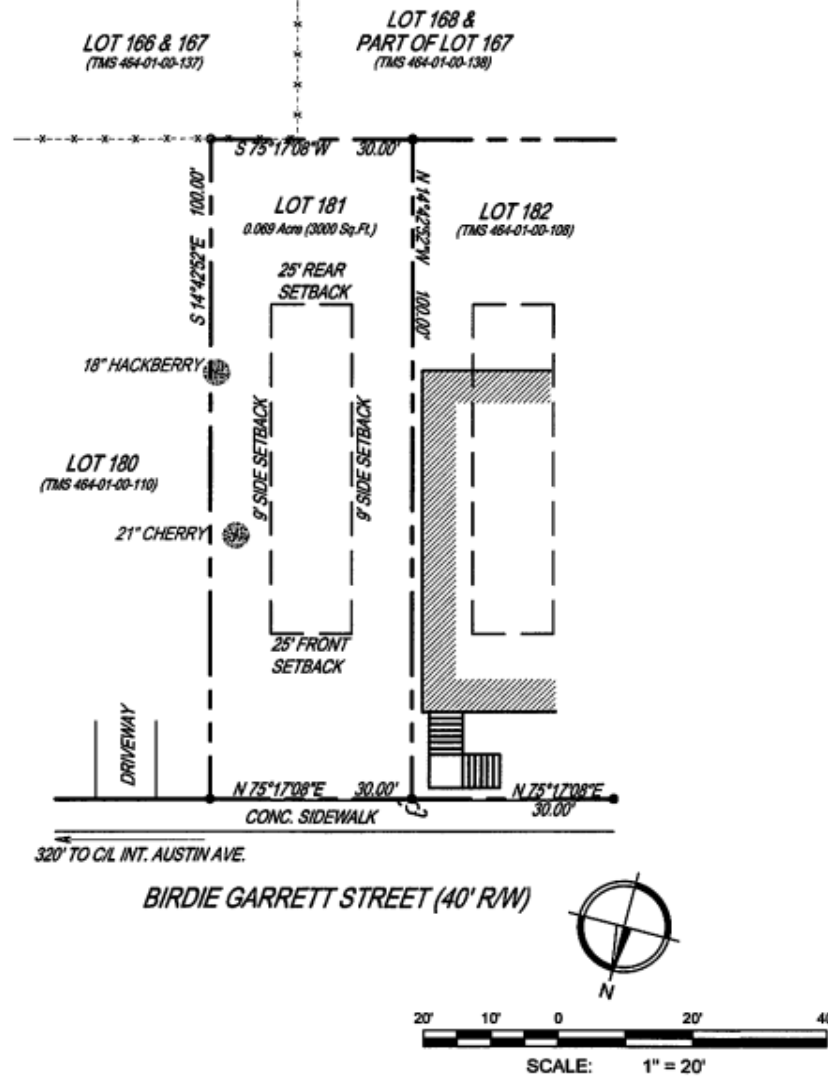
2321 BIRDIE GARRETT STREET, CHARLESTON SC

BOARD OF ZONING APPEALS APPLICATION  
SITE PHOTO INVENTORY

DRAWN BY JNR	CHECKED BY HWG	DATE 03/09/2020	REV. A
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NO. CV001
SHT. 2 OF 4



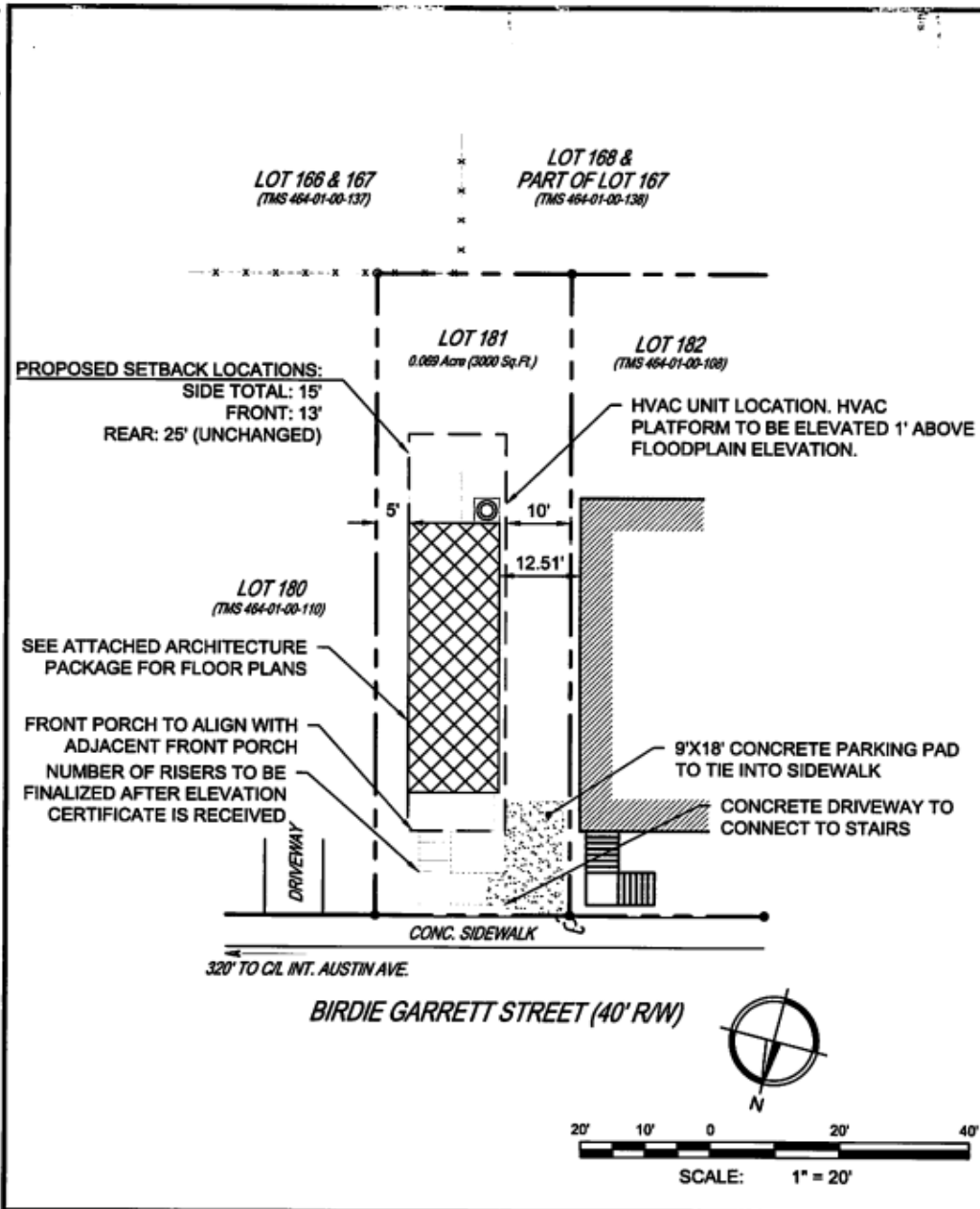


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2321 BIRDIE GARRETT STREET, CHARLESTON SC  
BOARD OF ZONING APPEALS APPLICATION  
EXISTING CONDITIONS

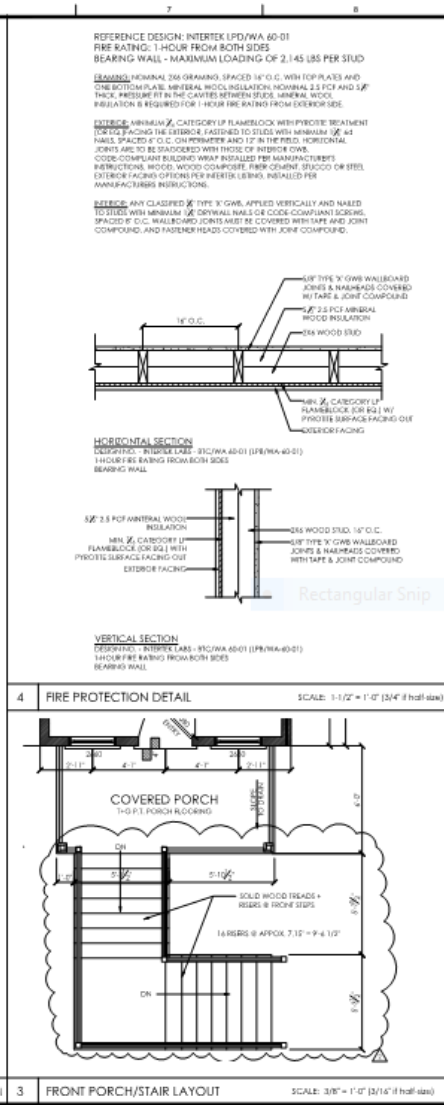
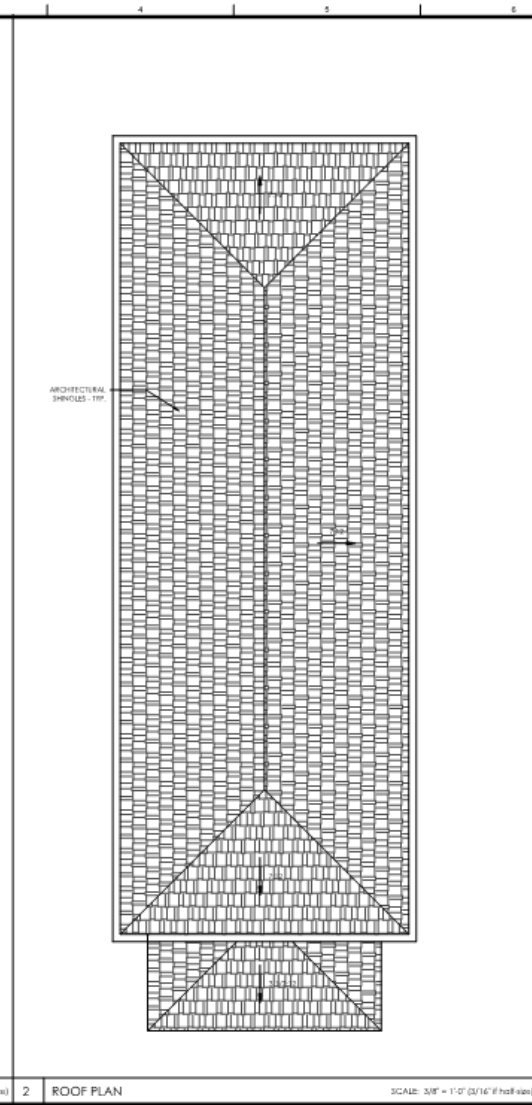
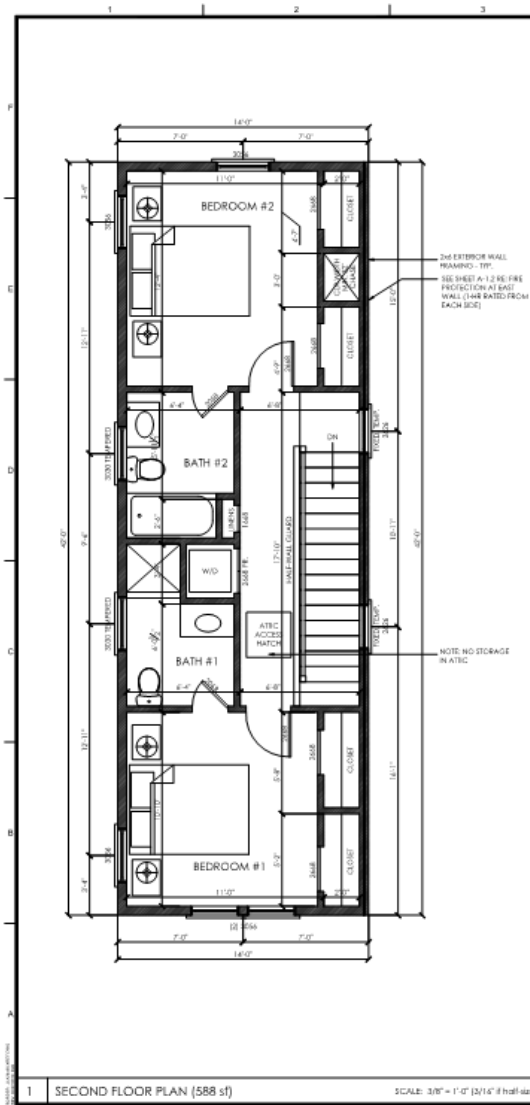
DRAWN BY: JNR CHECKED BY: HWG DATE: 03/09/2020 REV: A

NO.  
CV002  
SHT. 3 OF 4





A-101 1





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**CHARLESTON REDEVELOPMENT CORP.**  
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**BIRDIE GARRETT STREET RESIDENTIAL DEVELOPMENT**

PROJECT NO. 2002-2004

DESIGNED BY JLA

CHECKED BY WLD

DATE: 03/09/2020

SHEET TITLE: **FLOOR PLANS (1176 SF)**

SCALE: AS NOTED

**A-102**



